

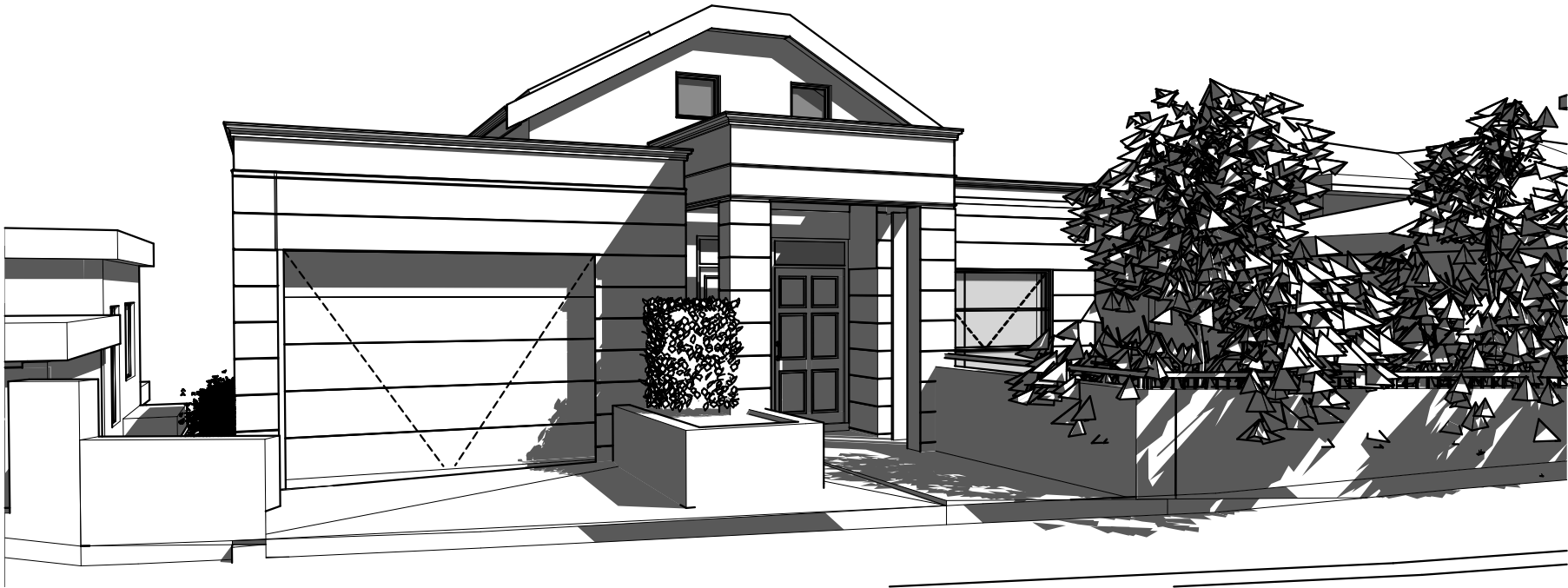
SCHEDULE OF DRAWINGS

Drwg No:	TITLE	Drwg No:	TITLE
000 NOTES & LEGENDS		400 SECTION ELEVATIONS	
DA001	NOTES & LEGENDS & BASIX COMMITMENTS	DA400	SECTION ELEVATION
100 SITE PLANS - GENERAL		410 SECTION ELEVATIONS	
DA101	SITE ANALYSIS PLAN	DA410	SECTION ELEVATION
DA102	SITE PLAN - GROUND	DA411	SECTION ELEVATION
DA103	SITE PLAN - ENTRY LEVEL 01	DA412	SECTION ELEVATION
DA104	DEMOLITION PLAN	DA413	SECTION ELEVATION
DA105	EXCAVATION AND FILL PLAN	DA414	SECTION ELEVATION
110 DESIGN PLANS		420 SECTION ELEVATIONS	
DA111	PROPOSED FLOOR PLAN: GROUND	DA420	SECTION ELEVATION
DA112	PROPOSED FLOOR PLAN: LEVEL 01	DA421	SECTION ELEVATION
DA113	PROPOSED FLOOR PLAN: ATTIC	DA422	SECTION ELEVATION
DA114	PROPOSED FLOOR PLAN: ROOF	DA423	SECTION ELEVATION
120 LANDSCAPE PLANS		430 SECTION ELEVATIONS	
DA120	LANDSCAPE CALCULATION PLAN	DA430	SECTION ELEVATION
DA121	LANDSCAPE PLAN- OVERALL	DA431	SECTION ELEVATION
DA122	VEGETATION REMOVAL PLAN	DA432	SECTION ELEVATION
DA123	LANDSCAPE PLAN- ZONE A- FRONT YARD	DA433	SECTION ELEVATION
DA124	LANDSCAPE PLAN- ZONE B- REAR YARD	DA434	SECTION ELEVATION
DA125	LANDSCAPE DETAILS	DA435	SECTION ELEVATION
DA126	LANDSCAPE NOTES	DA436	SECTION ELEVATION
130 FLOOR CALCULATION PLANS		440 SECTION ELEVATIONS	
DA131	FLOOR PLATE CALCULATION PLAN: GROUND FLOOR	DA440	SECTION ELEVATION
DA132	FLOOR PLATE CALCULATION PLAN: LEVEL 01 & ATTIC FLOOR	DA441	SECTION ELEVATION
150 SHADOW PLANS - WINTER SOLSTICE		450 SECTION ELEVATIONS	
DA151	SHADOW PLAN - WINTER SOLISTICE 21 JUNE 9AM	DA450	SECTION ELEVATION
DA152	SHADOW PLAN - WINTER SOLISTICE 21 JUNE 10AM	DA451	SECTION ELEVATION
DA153	SHADOW PLAN - WINTER SOLISTICE 21 JUNE 11AM	DA452	SECTION ELEVATION
DA154	SHADOW PLAN - WINTER SOLISTICE 21 JUNE 12PM	DA453	SECTION ELEVATION
DA155	SHADOW PLAN - WINTER SOLISTICE 21 JUNE 1PM	DA454	SECTION ELEVATION
DA156	SHADOW PLAN - WINTER SOLISTICE 21 JUNE 2PM	DA455	SECTION ELEVATION
DA157	SHADOW PLAN - WINTER SOLISTICE 21 JUNE 3PM	DA456	SECTION ELEVATION
ELEVATIONAL SHADOW STUDY		460 SECTION ELEVATIONS	
DA181	ELEVATIONAL SHADOW STUDY 30 RUSSEL ST - 21 JUNE 9AM-12PM	DA460	SECTION ELEVATION
DA182	ELEVATIONAL SHADOW STUDY 30 RUSSEL ST - 21 JUNE 1PM- 3PM	DA461	SECTION ELEVATION
200 BUILDING FLOOR PLANS		470 SECTION ELEVATIONS	
DA201	PROPOSED FLOOR PLAN: GROUND	DA470	SECTION ELEVATION
DA202	PROPOSED FLOOR PLAN: LEVEL 01	DA471	SECTION ELEVATION
DA203	PROPOSED FLOOR PLAN: ATTIC	DA472	SECTION ELEVATION
DA204	PROPOSED FLOOR PLAN: ROOF	DA473	SECTION ELEVATION
300 ELEVATIONS - SITE		480 SECTION ELEVATIONS	
DA301	RUSSELL STREET ELEVATION	DA480	SECTION ELEVATION
DA302	SITE ELEVATION: NORTH	DA481	SECTION ELEVATION
DA303	SITE ELEVATION: WEST	DA482	SECTION ELEVATION
DA304	SITE ELEVATION: SOUTH	DA483	SECTION ELEVATION
310 ELEVATIONS - BUILDING		490 SECTION ELEVATIONS	
DA311	EAST ELEVATION	DA490	SECTION ELEVATION
DA312	SOUTH ELEVATION	DA491	SECTION ELEVATION
DA313	WEST ELEVATION	DA492	SECTION ELEVATION
DA314	NORTH ELEVATION	DA493	SECTION ELEVATION

Drwg No:	TITLE
400 SECTIONS - SITE	
DA401	LONG SECTION: SITE
410 SECTIONS - BUILDING	
DA410	LONG SECTION
DA411	CROSS SECTION
DA412	CROSS SECTION
DA413	POOL SECTION
DA414	LONG SECTION
DA415	LONG SECTION
No 45 Russell St - Unit 3	
DA511	EXISTING VIEW FROM LIVING RM WINDOW-3/ 45 RUSSELL ST- SITTING
DA512	PROPOSED VIEW FROM LIVING RM WINDOW-3/ 45 RUSSELL ST- SITTING
DA513	EXISTING VIEW FROM LIVING RM WINDOW-3/ 45 RUSSELL ST- STAND
DA514	PROPOSED VIEW FROM LIVING RM WINDOW-3/ 45 RUSSELL ST- STAND
DA515	EXISTING VIEW FROM BEDROOM WINDOW-3/ 45 RUSSELL ST- SITTING
DA516	PROPOSED VIEW FROM BEDROOM WINDOW-3/ 45 RUSSELL ST- SITTING

Drwg No:	TITLE
NO 47 Russell St	
DA520	EXISTING VIEW FROM BED 2 WINDOW -U3 47 RUSSELL ST- SITTING
DA521	PROPOSED VIEW FROM BED 2 WINDOW -U3 47 RUSSELL ST- SITTING
DA522	EXISTING VIEW FROM LIVING RM BALC -U3 47 RUSSELL ST- SITTING
DA523	PROP 3D VIEW FROM LIVING RM BALC -U3 47 RUSSELL ST- SITTING
DA524	EXISTING VIEW FROM LIVING RM BALC -U3 47 RUSSELL ST-STANDING
DA525	PROP 3D VIEWFROM LIVING RM BALC -U3 47 RUSSELL ST-STANDING
DA526	EXISTING VIEW FROM BED RM 1 BALC -U3 47 RUSSELL ST-SITTING
DA527	PROP 3D VIEW FROM BED RM 1 BALC -U3 47 RUSSELL ST-SITTING
DA528	EXISTING VIEW FROM BED RM 1 BALC -U3 47 RUSSELL ST-STANDING
DA529	PROP 3D VIEW FROM BED RM 1 BALC -U3 47 RUSSELL ST-STANDING
DA530	EXISTING VIEW FROM BED RM 1 GLASS DOOR -U3 47 RUSSELL ST-S...
DA531	PROP VIEW FROM BED RM 1 GLASS DOOR -U3 47 RUSSELL ST-STAN...
DA532	EXISTING VIEW FROM BED RM 1 WINDOW -U4 47 RUSSELL ST-SITTING
DA533	PROP VIEW FROM BED RM 1 WINDOW -U4 47 RUSSELL ST-SITTING
DA534	EXISTING VIEW FROM BED RM 2 WINDOW -U4 47 RUSSELL ST-SITTING
DA535	PROP VIEW FROM BED RM 2 WINDOW -U4 47 RUSSELL ST-SITTING
DA536	EXISTING VIEW FROM LIVING RM BALC -U4 47 RUSSELL ST- SITTING
DA537	PROP 3D VIEW FROM LIVING RM BALC -U4 47 RUSSELL ST- SITTING
DA538	EXISTING VIEW FROM BED 1 RM BALC -U4 47 RUSSELL ST- SITTING
DA539	PROP 3D VIEW FROM BED 1 RM BALC -U4 47 RUSSELL ST- SITTING
No 49 Russell St	
DA541	EXISTING VIEW FROM BED 1 BALC 49 RUSSELL ST- SITTING
DA542	PROP 3D VIEW FROM BED 1 BALC 49 RUSSELL ST- SITTING
DA543	EXIST VIEW FROM GARAGE ROOF TERRACE 49 RUSSELL ST- SITTING
DA544	PROP VIEW FROM GARAGE ROOF TERRACE 49 RUSSELL ST- SITTING
DA545	EXIST VIEW FROM GARAGE ROOF TERRACE 49 RUSSELL ST- STAND...
DA546	PROP VIEW FROM GARAGE ROOF TERRACE 49 RUSSELL ST- STANDI...

Drwg No:	TITLE
700 SCHEDULES	
DA701	WINDOW SCHEDULE
DA702	DOOR SCHEDULE
DA703	DOOR SCHEDULE
800 SOIL & WATER MANAGEMENT	
DA801	CONSTRUCTION, SOIL & WATER MANAGEMENT PLAN
DA802	SOIL & WATER MANAGEMENT DETAILS
DA803	SOIL & WATER MANAGEMENT DETAILS
DA804	SOIL & WATER MANAGEMENT DETAILS
DA805	SOIL & WATER MANAGEMENT DETAILS



CONSTRUCTION LEGEND

WE-BF270	NEW 270MM EXT. CAVITY FACE BRICK WALL
WE-BR230	NEW 230MM EXTERNAL RENDERED BRICK WALL
WE-BR270	NEW 270MM EXT. CAVITY RENDERED BRICK WALL
WE-BVF250	NEW 250MM EXT. FACE BRICK VENEER WALL
WE-BVR250	NEW 250MM EXT. RENDERED BRICK VENEER WALL
WE-FC	FRAMED EXTERNAL WALL WITH FC CLADDING
R-TCT	NEW FRAMED ROOF WITH TILED CLADDING
R-ZSR	NEW FRAMED ROOF WITH METAL CLADDING
MB-MR	METAL FRAMED BALUSTRADE - METAL RAILING
PS-AL	PRIVACY SCREEN- ALUMINIUM
PV-2.5kW	PHOTOVOLTAIC SOLAR PANELS - 2.5kW CAPACITY
RWT-A	ABOVE GROUND RAINWATER TANK(S)
FENCE-POOL POOL	POOL FENCE CONSTRUCTION POOL CONSTRUCTION

COMPLIANCE NOTES

Schedule 1 Schedule 1c 1C1	Key Complainces NCC Vol 2 Compliance: Termite Treatment PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH AS 3660.1 - 2000. PROVISIONS IN THIS DESIGN INCLUDE: - COMPLIANT CHEMICAL TREATMENT TO MANUFACTURER'S MAINTENANCE RECOMMENDATIONS. - WOVEN METAL MESH FABRIC LAID ACROSS 270MM BRICK WALL CAVITIES BELOW THE FLOOR STRUCTURE LEVEL, AND OTHER STRIP BARRIER SYSTEMS - CHEMICALLY TREATED TIMBER Compliance: Slip Resistance ALL FLOOR SURFACES TO HAVE A SLIP-RESISTANT FINISH IN ACCORDANCE WITH ALL RELEVANT AND CURRENT SAA CODES Compliance: Smoke Alarms CEILING MOUNTED SMOKE DETECTOR AND ALARM CONNECTED TO MAINS POWER SUPPLY WITH BATTERY BACK-UP TO AS 3786 Compliance: Int Wet Area Waterproofing WALLS AND FLOORS TO NEW WET AREAS (BATHROOM & LAUNDRY) TO BE WATERPROOFED IN ACCORDANCE WITH ALL RELEVANT AND CURRENT SAA CODES. Compliance: Skylights NON-COMBUSTIBLE (METAL FRAMED & GLAZED) FIXED SKYLIGHTS TO BE FITTED TO SECTION OF ROOF LESS THAN 900MM FROM COMMON BOUNDARY TO BCA v2 cl 3.7.1.10
1C2	
1C3	
1C4	
1C5	
1C7	Compliance: Wet Area Glazing GRADE A SAFETY GLASS TO ALL GLAZING IN BATHROOMS TO BCA v2 cl 3.6.4.5
1C8	Compliance: Safe Access CONTINUOUS HANDRAIL ALONG STAIRS TO BCA v2 cl 3.9.2.4 STAIR WITH TREADS 250MM MIN TREADS AND RISERS >115 & <190MM TO BCA (v2 cl 3.9.1.2). TREADS FINISHED WITH SEL. SLIP RESISTANT SURFACE (RATING R10 DRY & R11 WET) AND CONTRASTING SLIP RESISTANT NOSING STRIPS (RATING P3 DRY & P4 WET) TO BCA (v2 cl 3.9.1.4) CONTINUOUS 1000 HIGH BALUSTRADES TO STAIRS WELLS & VOIDS TO BCA v2 cl 3.9.2.2 & 3 1000 HIGH BALUSTRADE TO BALCONY AND STAIR EDGE GREATER THAN 1000MM ABOVE FLOOR BELOW. TOUGHENED GLASS PANNELLING PATCH FITTED INTO S/STEEL BRACKETS DOWLED INTO R/C SLAB HOB OR STAIR AND FITTED WITH TOP RAIL FIXED TO WALL ON BOTH ENDS TO AS 1288 & BCA (v1 Cl D2.16)
1C9	Compliance: Wet Area Drainage WET AREAS WALLS AND FLOORS TO BE GRADED AND WATERPROOFED TO BCA v2 cl 3.8.1.2 AS 3740. DRAIN TO FLOOR WASTE WITH "S" TRAP IN INDICATIVE LOCATIONS LABELLED "FW" - TO AS 3500

ESD - SCHEDULE OF BASIX COMMITMENTS

WATER CONSERVATION	
WATER DEVICES	SELECTED WATER DEVICES TO ALL NEW WORKS AREAS WITH THE FOLLOWING STAR RATINGS BATHROOM BASIN TAPS 4 STAR BATHROOM BATH TAPS 4 STAR SHOWER ROSE & MIXER 3 STAR (> 4.5 but <=6 L/min) WC PAN & FLUSH SYSTEM 4 STAR
COMPLIANCE	THE SELECTED RATING SYSTEM IS CONTAINED IN THE MANUAL OF ASSESSMENT PROCEDURE OF WATER EFFICIENT APPLICATIONS SAA MP64-1995S
RAINWATER TANK SPECIFICATION	DESIGNATED DWELLING ROOF AREAS ARE TO BE DRAINED INTO A RAIN WATER TANK TO BE PROVIDED AS SPECIFIED ON THESE DRAWINGS
ROOF CATCHMENT AREA VOLUME	ROOF CATCHMENT: 100sq.m OF ROOF AREA CAPACITY = 3 000L PER DWELLING
TANK WATER USE	ALL TOILETS, AT LEAST ONE OUTDOOR GARDEN TAP AND A TAP WITHN 10M OF THE POOL.
COMPLIANCE	INSTALLATION AND LABELLING OF PIPES TO BE IN ACCORDANCE WITH THE RELEVANT AND CURRENT SAA CODES.
POOL	
POOL VOLUMNE	POOL VOLUME: 35,000L
POOL LOCATION	OUTDOORS
POOL HEATER	GAS HEATING SYSTEM
POOL SHADE	NONE
FILTER PUMP	PUMP TO BE FITTED WITH TIMER
THERMAL COMFORT	
BUILDING FABRIC GENERALLY	THE BUILDING IS TO BE CONSTRUCTED AND FITTED WITH ALL THERMAL PERFORMANCE SPECIFICATION REQUIREMENTS LISTED IN THE BASIX CERTIFICATE, AND IS TO INCLUDE THE FOLLOWING AT MINIMUM:
FLOORS OF FIRST FLOOR ABOVE OUTSIDE AIR	TYPE CONCRETE INSULATION PROVIDE R1.0 INSULATION
ALL OTHER FLOORS	TYPE CONCRETE INSULATION NONE
EXTERNAL WALLS	ALL EXTERNAL WALLS OF GARAGE BRICK VENEER COLOUR 1 LIGHT (SA<0.30) INSULATION 1 NONE
ALL OTHER EXTERNAL WALLS	BRICK VENEER & FIBRE CEMENT COLOUR 2 LIGHT (SA<0.30) INSULATION 2 PROVIDE PROPRIETARY R2.5 REFLECTIVE FOIL SARKING AND INSULATION
ALL INTERNAL WALLS OF GARAGE	SINGLE SKIN BRICK COLOUR 3 N/A INSULATION 3 PROVIDE PROPRIETARY R1.5 REFLECTIVE FOIL SARKING AND INSULATION
INTERNAL WALLS	RENDERED BRICKWORK TIMBER FRAMED & PB LINED
GLAZING & WINDOW/DOORS CONSTRUCTION	GLAZING ALUM FRAME WITH 6.82MM LAMINATED GLAZING TYPICALLY. REFER TO WINDOW SCHEDULE FOR DETAIL SEALING FIT WEATHER STRIPS TO ALL DOORS AND WINDOWS
ROOF	
TYPE A	TILED PITCH
ROOF COLOUR	DARK
CEILING INSULATION	R4.0 BULK INSULATION ABOVE CEILING LINING
ROOF VENTILATION	STANDARD

APPLIANCE EFFICIENCY	
GENERALLY	THE BUILDING IS TO BE FITTED WITH ALL THERMAL PERFORMANCE SPECIFICATION REQUIREMENTS LISTED IN THE BASIX CERTIFICATE, AND IS TO INCLUDE THE FOLLOWING AT MINIMUM
HOT WATER UNIT	TYPE A INSTANTANEOUS GAS HWU RATING A 3 STAR ENERGY RATING TYPE B INSTALL A PHOTOVOLTAIC SYSTEM TO CONNECT TO THE ELECTRICAL SYSTEM RATING B 2.5 PEAK KILOWATTS
HEATING AND COOLING	LIVING AREA HEATING DUCTED A/C SYSTEM - 3 PHASE LIVING AREA COOLING DUCTED A/C SYSTEM - 3 PHASE BEDROOM AREA HEATING DUCTED A/C SYSTEM - 3 PHASE BEDROOM AREA COOLING DUCTED A/C SYSTEM - 3 PHASE A/C SYSTEM EFFICIENCY < 2.5 STAR RATING RATING ZONING DAY/NIGHT ZONING BETWEEN BEDROOM AND LIVING AREAS
MECHANICAL VENTILATION	BATHROOM EXHAUST INDIVIDUAL FAN DUCTED TO FAÇADE OR ROOF & MANUAL SWITCH ON/OFF KITCHEN EXHAUST INDIVIDUAL FAN DUCTED TO FAÇADE OR ROOF & MANUAL SWITCH ON/OFF

LAUNDRY EXHAUST	INDIVIDUAL FAN DUCTED TO FAÇADE OR ROOF & MANUAL SWITCH ON/OFF
LIGHTING	FITTINGS WITH LED LAMPS LIVING AREAS DEDICATED BEDROOM AREAS DEDICATED HALLWAYS DEDICATED KITCHEN PRIMARY BATHROOMS DEDICATED LAUNDRY DEDICATED Note: ALL DOWNLIGHTS WHICH PENETRATE THE CEILING TO BE FITTED WITH APPROVED FIREPROOF, NON-VENTILATED COVERS ALLOWING UNINTERRUPTED CEILING INSULATION
NATURAL LIGHTING	INSTALL A WINDOW AND/ OR SKYLIGHT IN 4 BATHROOMS/ TOILETS
APPLIANCES	KITCHEN COOK TOP GAS - 3 STAR RATING KITCHEN OVEN ELECTRIC 3.5 STAR RATING REFRIDGERATOR PROVIDE ADEQUATE VENTILATION SPACE BEHIND REFRIDGERATOR TO MANUFACTURERS REQUIREMENTS.

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NATHERS STAMP

REFERENCES :

DWG #	DESCRIPTION
DA000	NOTES & LEGENDS & BASIX COMMITMENTS
DA100	SERIES - SITE PLANS
DA110	SERIES - KEY FLOOR PLANS
DA140	SERIES - LANDSCAPE PLANS
DA200	SERIES - FLOOR PLANS
DA230	SERIES - WALL SETOUT PLANS
DA300	SERIES - ELEVATIONS
DA400	SERIES - SECTIONS
DA600	SERIES - DETAILS
DA700	SERIES - WINDOW AND DOOR SCHEDULES

DA DOCUMENTATION - NOT FOR CONSTRUCTION

-	-	-
-	-	-
C3.1	S34 WOP SUBMISSION 3	07.02.24
C3	S34 WOP SUBMISSION 2	29.01.24
C2	S34 WOP SUBMISSION	09.12.23
C	DA INFO SUBMISSION	28.06.23
B	DA INFO SUBMISSION	20.02.23
A	DA SUBMISSION	10.12.22
06	DESIGN PRESENTATION	20.05.22
05	PRE-DA SUBMISSION	10.11.21
04	DESIGN PRESENTATION	06.10.21
03	DESIGN PRESENTATION	31.07.21
02	DESIGN PRESENTATION	27.07.21
01	DESIGN PRESENTATION	12.06.21
REV	NOTES	DATE

CLIENT
N & P WILLIAMS
30A RUSSELL ST VAUCLUSE

NEW RESIDENCE project

30A

RUSSELL ST
VAUCLUSE
address

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NOTES & LEGENDS & BASIX COMMITMENTS drawing

2135: DA001: C3.1
project drawing no. issue

7/2/2024

5.6

NATIONWIDE

HOUSE

ENERGY RATING SCHEME

56.8

MJ/m²

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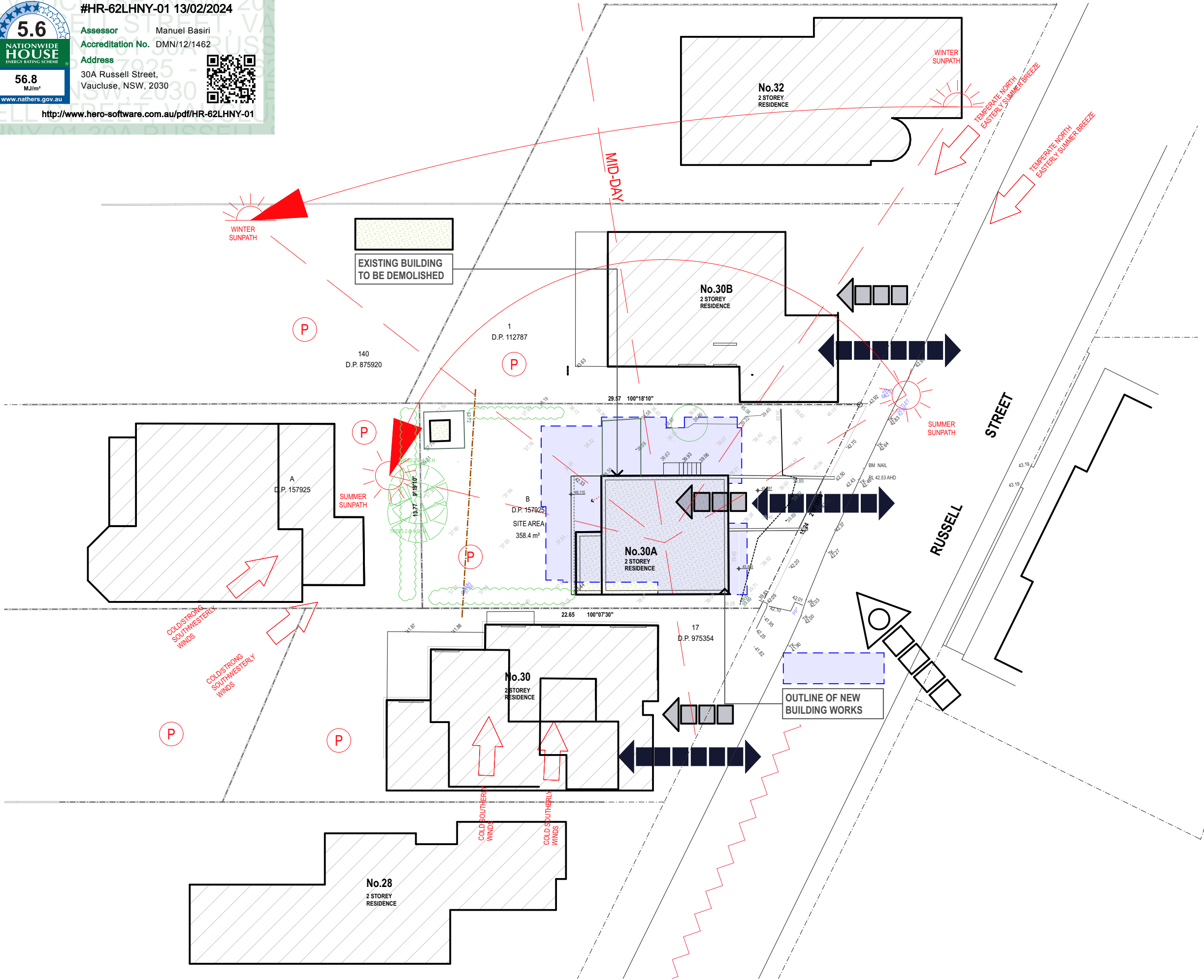
#HR-62LHNY-01 13/02/2024

Assessor Manuel Basiri

Accreditation No. DMN/12/1462

Address 30A Russell Street, Vaucluse, NSW, 2030

http://www.hero-software.com.au/pdf/HR-62LHNY-01



SITE ANALYSIS LEGEND

- OUTLINE OF PROPOSED BUILDING WORK
- OUTLINE OF BUILDINGS TO BE SUBJECT TO THIS APPLICATION
- OUTLINE OF SINGLE STOREY BUILDINGS
- OUTLINE OF TWO STOREY BUILDINGS



TRAFFIC NOISE



NATHERS STAMP

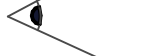
RESIDENTIAL PEDESTRIAN ACCESS POINTS



VEHICULAR ACCESS



POTENTIAL SIGNIFICANT OVERLOOKING SITUATION



SIGNIFICANT VIEWS FROM SITE



SIGNIFICANT VIEWS TO SITE



PREVAILING WIND/ BREEZE DIRECTION



PRIVATE OPEN SPACE

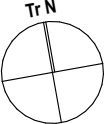


SIGNIFICANT TREES & SHRUBS

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ALL LEVELS ARE TO AHD AND HAVE BEEN DETERMINED FROM SURVCORP P/L - 12 SEPT 2022

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NEW RESIDENCE project

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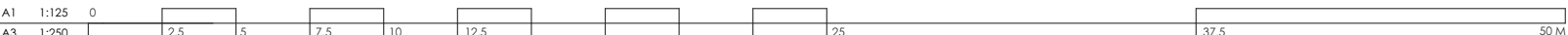
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SITE ANALYSIS PLAN drawing

2135: DA101: C3.1
project drawing no. issue
7/2/2024

1 SITE ANALYSIS PLAN
Scale 1:250



5.6

NATIONWIDE HOUSE

ENERGY RATING SCHEME

56.8

MJ/m²

www.nathers.gov.au

#HR-62LHNY-01 13/02/2024

Assessor Manuel Basiri

Accreditation No. DMN/12/1462

Address 30A Russell Street, Vaucluse, NSW, 2030

http://www.hero-software.com.au/pdf/HR-62LHNY-01

The site plan illustrates the proposed development at 30A Russell Street, Vaucluse, NSW. The central focus is the 'No.30A PROPOSED RESIDENCE' (PB1), an 81.9 m² structure. To its left is a 'REAR YARD' containing a 'NEW POOL' and a 'COURT YARD'. The plan also shows existing and proposed residences: 'No.32 3 STOREY RESIDENCE' to the north, 'No.30B 2 STOREY RESIDENCE' to the northeast, 'No.30 2 STOREY RESIDENCE' to the south, and 'No.28 2 STOREY RESIDENCE' to the southwest. The site is bounded by a 'STREET BUILDING LINE' to the east. Various setbacks, dimensions, and boundary lines are clearly marked. A 'BUILDABLE AREA OUTLINE' is shown for the proposed residence. The plan includes a north arrow and a scale bar.

1 SITE PLAN- GROUND
Scale 1:200

DWELLING DESIGN CALCULATIONS			
CONTROL	DCP STANDARD	EXIST. SITE	PROP. SITE
1.0 SITE INFO			
Zoning		Residential R2	Residential R2
Lot/ DP		LOT B/ DP 157925	LOT B/ DP 157925
Site Area		358.4 m ²	358.4 m ²
Site Frontage		13.7 m	13.7 m
Site Length 1		29.57 m	29.57 m
Site Length 2		22.65 m	22.65 m
2.0 DENSITY			
2.1 Max Buildable Area (BA) or Plate (FPA) % of MBA	159 m ² 165%	105.2%	164.9%
2.2 Floor Plate Area			
Ground Floor		84.60 m ²	124.80 m ²
Level 01		84.60 m ²	129.70 m ²
Level 02		0.00 m ²	24.30 m ²
Outbuildings		1.80 m ²	0.00 m ²
Sub-Total		171.00 m ²	278.80 m ²
Area Concessions			
Garage		0.00 m ²	16.60 m ²
Net Floor Plate Area (FPA)	262.35 m ²	171.00 m ²	262.20 m ²
3.0 BUILDING FORM & ENVELOPE			
3.1 Building Heights			New Works
Dwelling Overall Height	9.5 m	6.3 m	9.805 m
Basement Height	1 m		
3.2 Building Setbacks			
Dwelling: Front		2.27 m	5.63 m
Street Average			
No.28	3.78 m		
No.30	3.33 m		
No.30B	3.36 m		
No.32	7.13 m		
	4.66 m		
Dwelling: Sides	formula		N/A
Building Line Width	15.255 m		
North Setback LG	1.90 m	4.75 m	min. 1.9-2.18 m
North Setback G&FF	1.90 m	4.75 m	min. 1.9-2.18 m
South Setback	1.90 m	0.92 m	min. 1.9-2.18 m
South Setback Garage	1.90 m	N/A	min. 1.17 m
Building Depth % of Site	63%		
North Side	18.60 m	10.54 m	18.2 m
South Side	14.25 m	10.54 m	13.8 m
Dwelling: Rear	5% x av. site length		
North Side	7.19 m	10.10 m	7.16 m
South Side	4.92 m	10.10 m	4.6 m
Outbuildings		0.67 m	N/A
4.0 LANDSCAPE AREA/ SITE COVERAGE			
4.1 Site Coverage (SC)			
Building Footprint		86.40 m ²	132.60 m ²
Total	178.40 m ²	86.40 m ²	132.60 m ²
Formula: $\frac{30 + (20 \times ((1100 - \text{site area})) / 750)}{100}$	49.78%	24.1%	37.0%
x Site Area (Max)		x Site Area	x Site Area
4.2 Landscape Area (LA)			
Front Yard			
Total Area		74.60 m ²	62.90 m ²
Impervious Areas		23.00 m ²	29.50 m ²
Soft/Deep Soil Area		51.60 m ²	33.40 m ²
40% of Yard Min.		69.2%	53.1%
Rear Yard			
Total Area	35 sq.m min	147.50 m ²	118.10 m ²
Impervious Areas		4.9 m ²	44.7 m ²
Soft/Deep Soil Area		142.60 m ²	73.40 m ²
Total Landscape Area			
Total Area		272.00 m ²	225.80 m ²
Open Impervious Areas		39.70 m ²	88.10 m ²
Soft/Deep Soil Area		232.30 m ²	137.70 m ²
4.3 Total Impervious Area (IA)			
Site Coverage		86.40 m ²	132.60 m ²
Open Imperv. Areas		39.70 m ²	88.10 m ²
Total		126.10 m ²	220.70 m ²
5.0 OFF STREET PARKING			
5.1 No. Spaces	2	1	1
5.2 Location		Front carspace	New Garage

NOTES :
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DWG#	DESCRIPTION
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DA140	SERIES - LANDSCAPE PLANS
DA200	SERIES - FLOOR PLANS
DA230	SERIES - WALL SETOUT PLANS
DA300	SERIES - ELEVATIONS
DA400	SERIES - SECTIONS
DA600	SERIES - DETAILS
DA700	SERIES - WINDOW AND DOOR SCHEDULES

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02	DESIGN PRESENTATION	27.07.21
01	DESIGN PRESENTATION	12.06.21
REV	NOTES	DATE

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SITE PLAN - GROUND
drawing

2135: DA102: C3.1
project drawing no. issue
7/2/2024

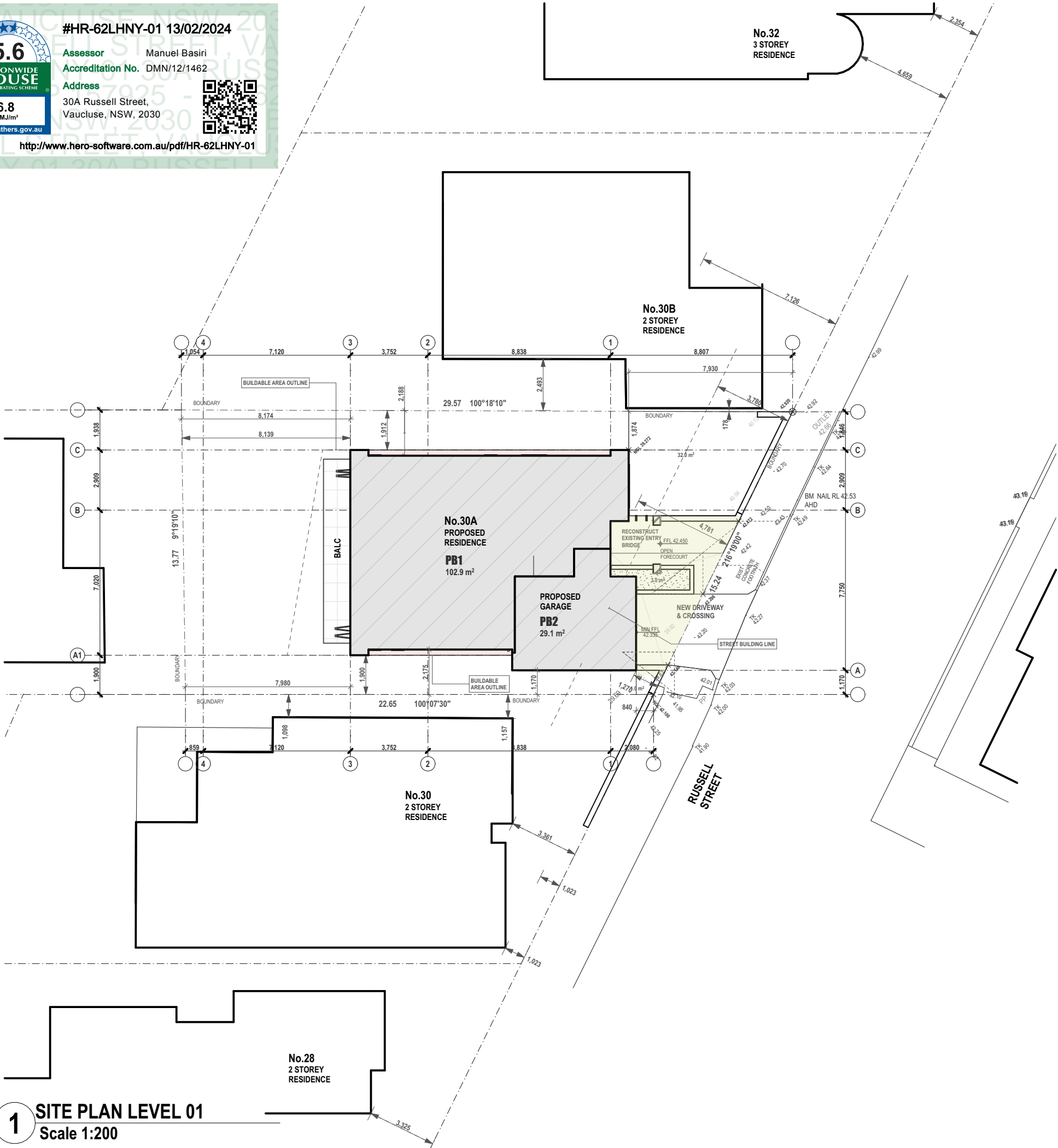


#HR-62LHNY-01 13/02/2024

Assessor Manuel Basiri
Accreditation No. DMN/12/1462
Address 30A Russell Street,
Vaucluse, NSW, 2030



http://www.hero-software.com.au/pdf/HR-62LHNY-01



DWELLING DESIGN CALCULATIONS

CONTROL	DCP STANDARD	EXIST. SITE	PROP. SITE
1.0 SITE INFO			
Zoning		Residential R2	Residential R2
Lot/ DP		LOT B/ DP 157925	LOT B/ DP 157925
Site Area		358.4 m ²	358.4 m ²
Site Frontage		13.7 m	13.7 m
Site Length 1		29.57 m	29.57 m
Site Length 2		22.65 m	22.65 m
2.0 DENSITY			
2.1 Max Buildable Area (BA) or Plate (FPA) % of MBA	159 m ² 165%	105.2%	164.9%
2.2 Floor Plate Area			
Ground Floor		84.60 m ²	124.80 m ²
Level 01		84.60 m ²	129.70 m ²
Level 02		0.00 m ²	24.30 m ²
Outbuildings		1.80 m ²	0.00 m ²
Sub-Total		171.00 m ²	278.80 m ²
Area Concessions			
Garage		0.00 m ²	16.60 m ²
Final Floor Plate Area (FPA)	262.35 m ²	171.00 m ²	262.20 m ²
3.0 BUILDING FORM & ENVELOPE			
3.1 Building Heights			
Dwelling Overall Height	9.5 m	6.3 m	New Works 9.805 m
Basement Height	1 m		
3.2 Building Setbacks			
Dwelling: Front		2.27 m	5.63 m
Street Average	3.78 m		
No.28	3.33 m		
No.30	3.36 m		
No.30B	7.13 m		
No.32	4.66 m		
Dwelling: Sides	formula		N/A
Building Line Width	15.255 m		
North Setback LG	1.90 m	4.75 m	min. 1.9-2.18 m
North Setback G&FF	1.90 m	4.75 m	min. 1.9-2.18 m
South Setback	1.90 m	0.92 m	min. 1.9-2.18 m
South Setback Garage	1.90 m	N/A	min. 1.17 m
Building Depth % of Site			
North Side	63%	10.54 m	18.2 m
South Side	18.60 m	10.54 m	13.8 m
Dwelling: Rear			
5% x av. site length			
North Side	7.19 m	10.10 m	7.16 m
South Side	4.92 m	10.10 m	4.6 m
Outbuildings		0.67 m	N/A
4.0 LANDSCAPE AREA/ SITE COVERAGE			
4.1 Site Coverage (SC)			
Building Footprint		86.40 m ²	132.60 m ²
Total	178.40 m ²	86.40 m ²	132.60 m ²
= 30+(20 x ((1100-site area))/750)	49.78%	24.1%	37.0%
x Site Area (Max)		x Site Area	x Site Area
4.2 Landscape Area (LA)			
Front Yard			
Total Area		74.60 m ²	62.90 m ²
Impervious Areas		23.00 m ²	29.50 m ²
Soft/Deep Soil Area		51.60 m ²	33.40 m ²
Rear Yard	40% of Yard Min.	69.2%	53.1%
Total Area	35 sq.m min	147.50 m ²	118.10 m ²
Impervious Areas		4.9 m ²	44.7 m ²
Soft/Deep Soil Area		142.60 m ²	73.40 m ²
Total Landscape Area			
Total Area		272.00 m ²	225.80 m ²
Open Impervious Areas		39.70 m ²	88.10 m ²
Soft/Deep Soil Area		232.30 m ²	137.70 m ²
4.3 Total Impervious Area (IA)			
Site Coverage		86.40 m ²	132.60 m ²
Open Imperv. Areas		39.70 m ²	88.10 m ²
Total		126.10 m ²	220.70 m ²
5.0 OFF STREET PARKING			
5.1 No. Spaces	2	1	1
5.2 Location		Front carspace	New Garage

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SITE PLAN - ENTRY LEVEL 01
drawing

2135: DA103: C3.1
project drawing no. issue
7/2/2024

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5.6

NATIONWIDE HOUSE

56.8

Mum

#HR-62LHNY-01 13/02/2024

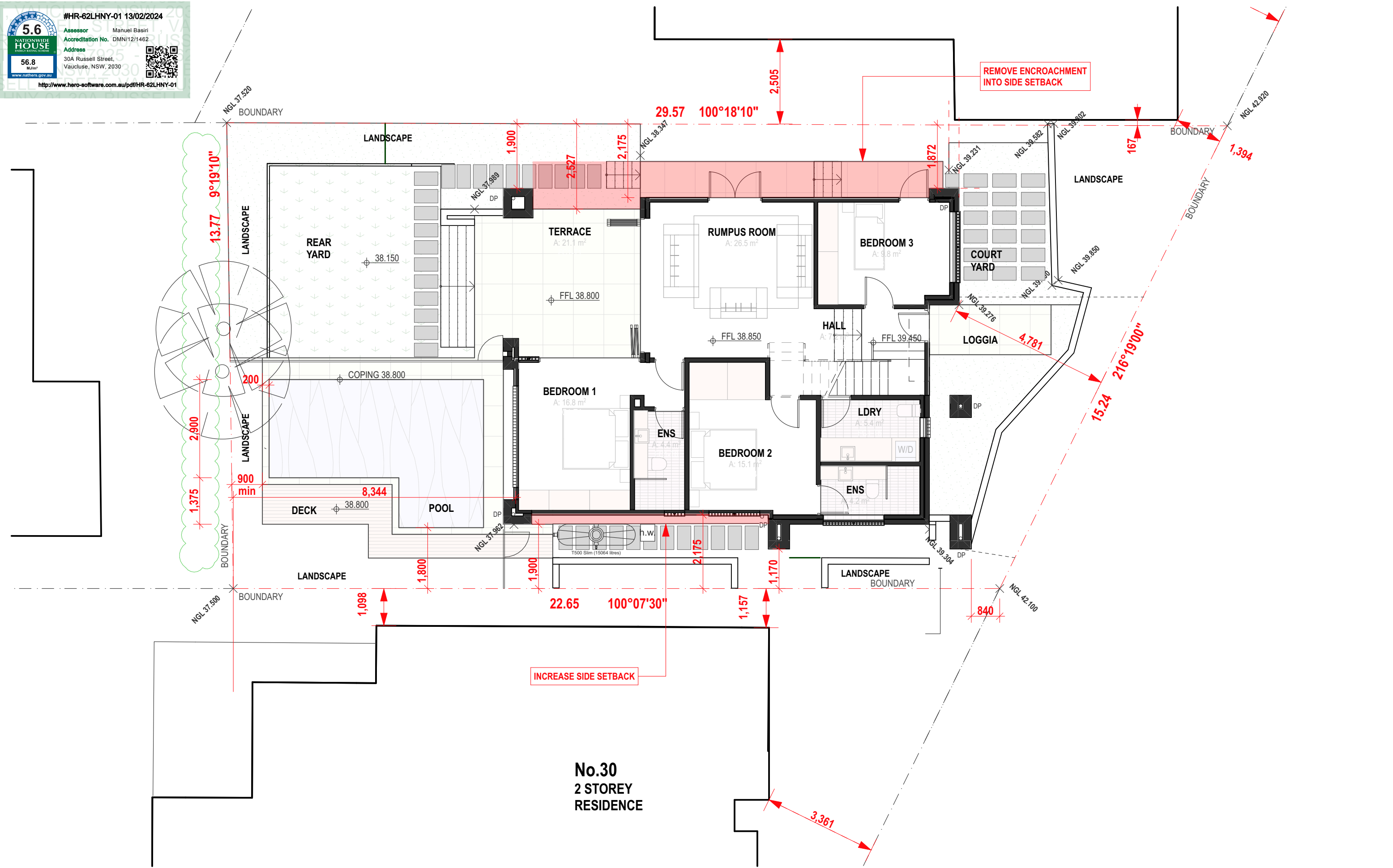
Assessor Manuel Basiri

Accreditation No. DMN/12/1462

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QR CODE



A1 1: 50 0

A3 1: 100 1 2 3 4 5 10 15 20 M

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PROPOSED FLOOR PLAN:
GROUND
drawing
2135: DA111: C3.1
project drawing no. issue
7/2/2024

5.6

NATIONWIDE

HOUSE

ENERGY RATING SCHEME

Assessor

Manuel Basiri

Accreditation No. DMN/12/1462

Address

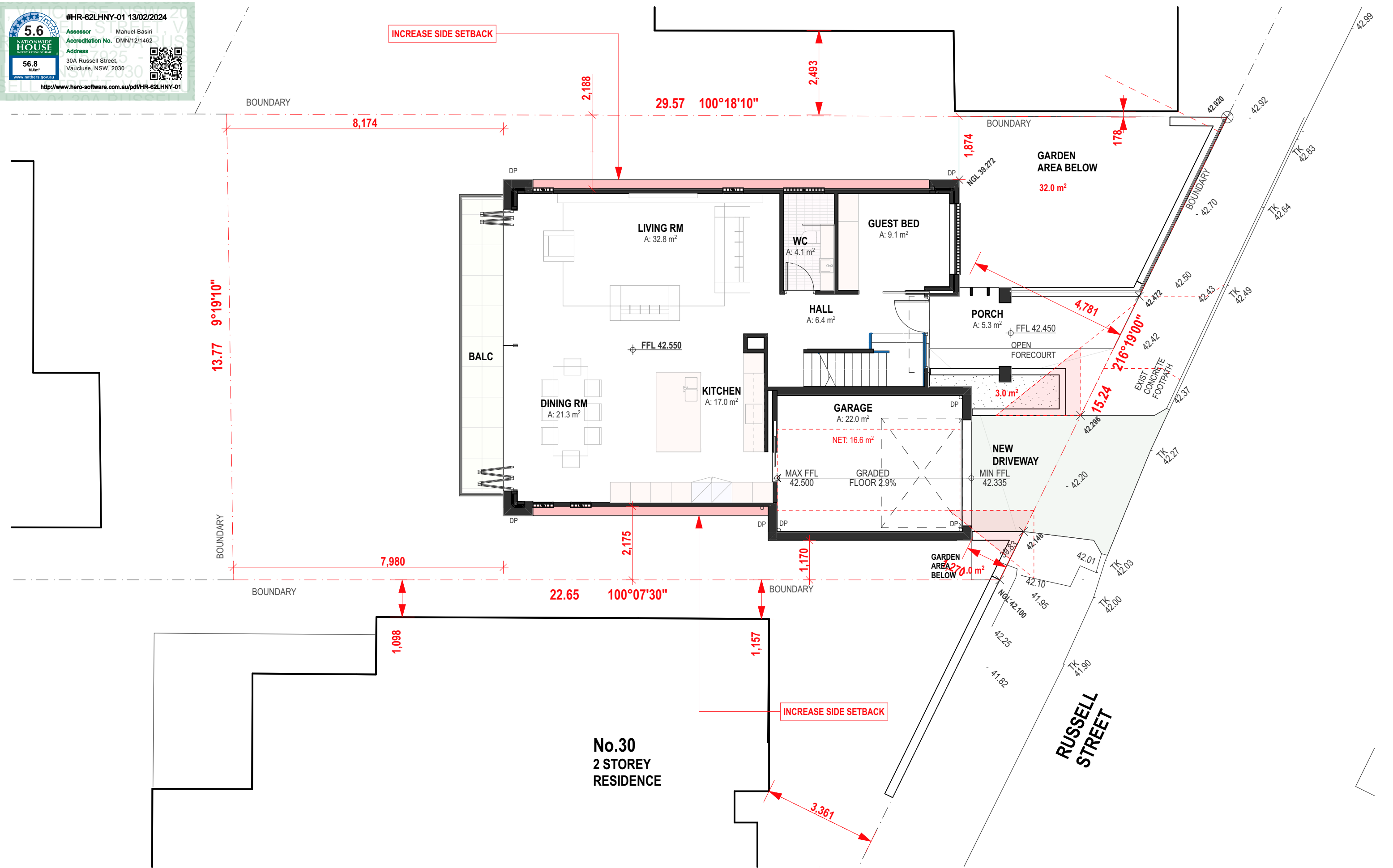
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PROPOSED FLOOR PLAN: LEVEL 01

drawing

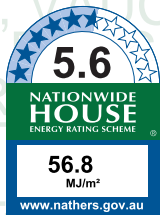
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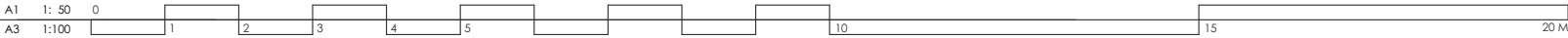
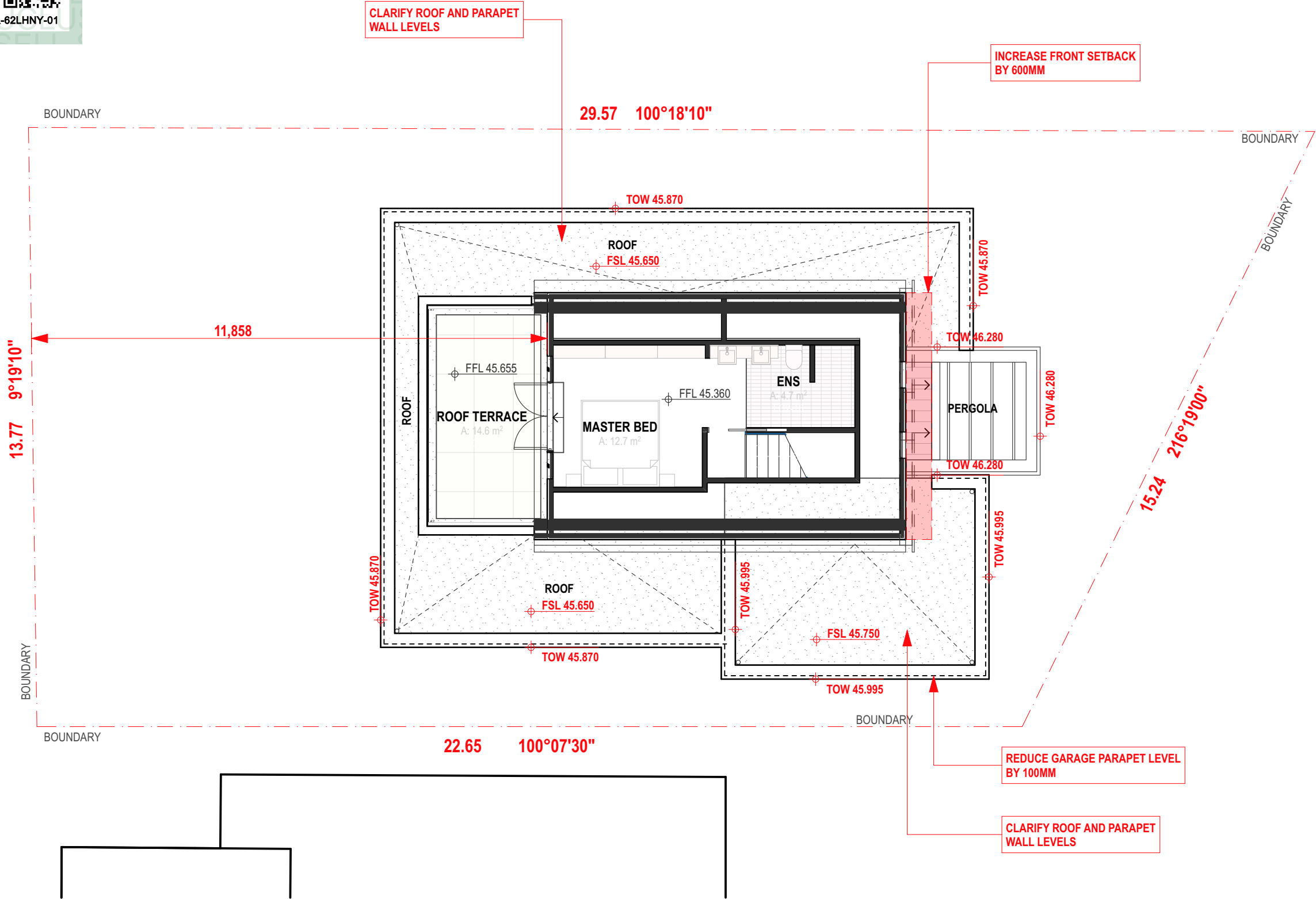
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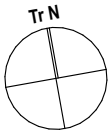
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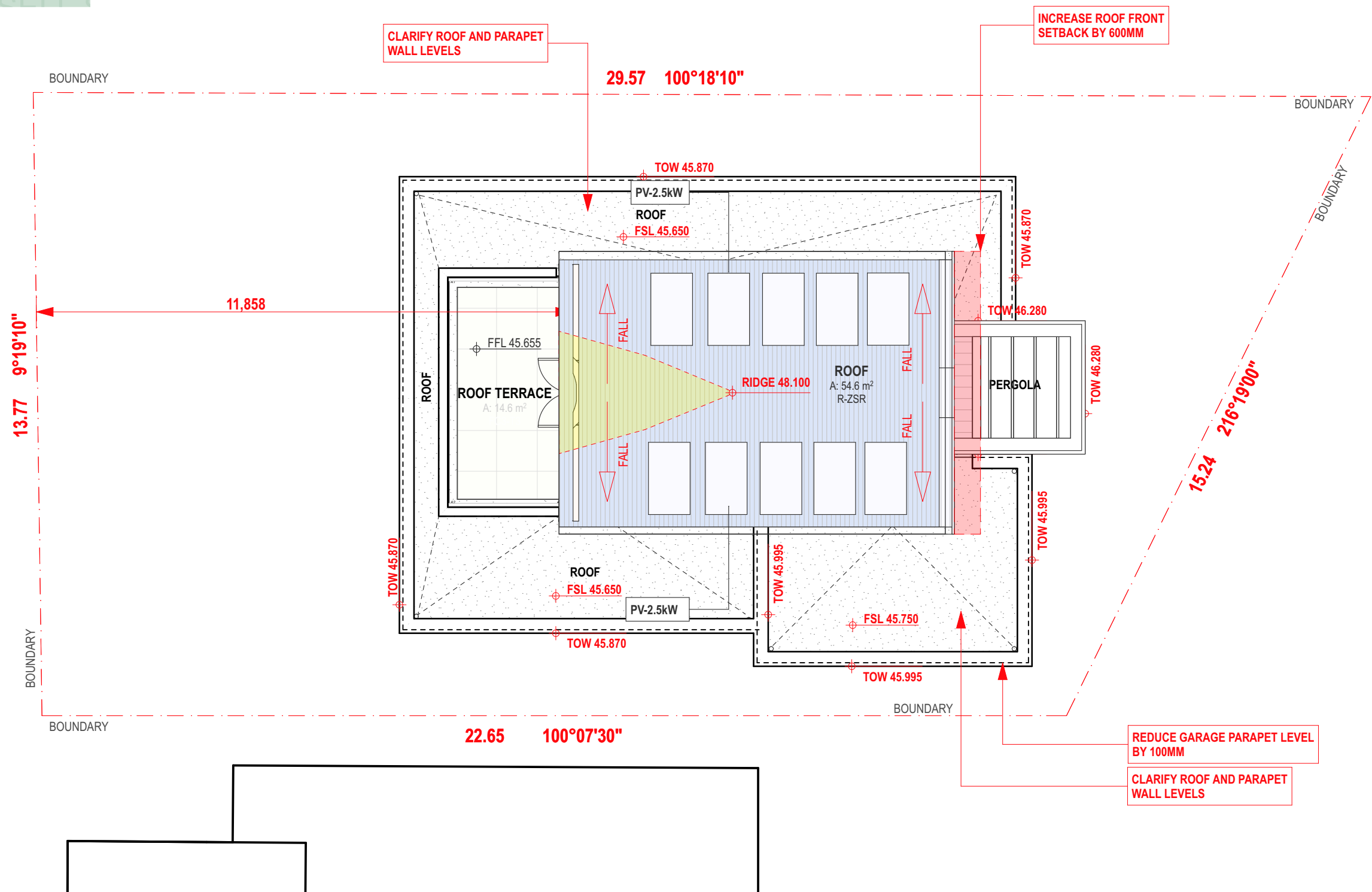


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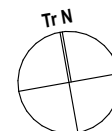
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334A homer st earlwood nsw 2206 ph: 9573 1409 e-mail:
info@voarc.com.au

PROPOSED FLOOR PLAN: ATTIC
drawing
2135: DA113: C3.1
project drawing no. issue
7/2/2024



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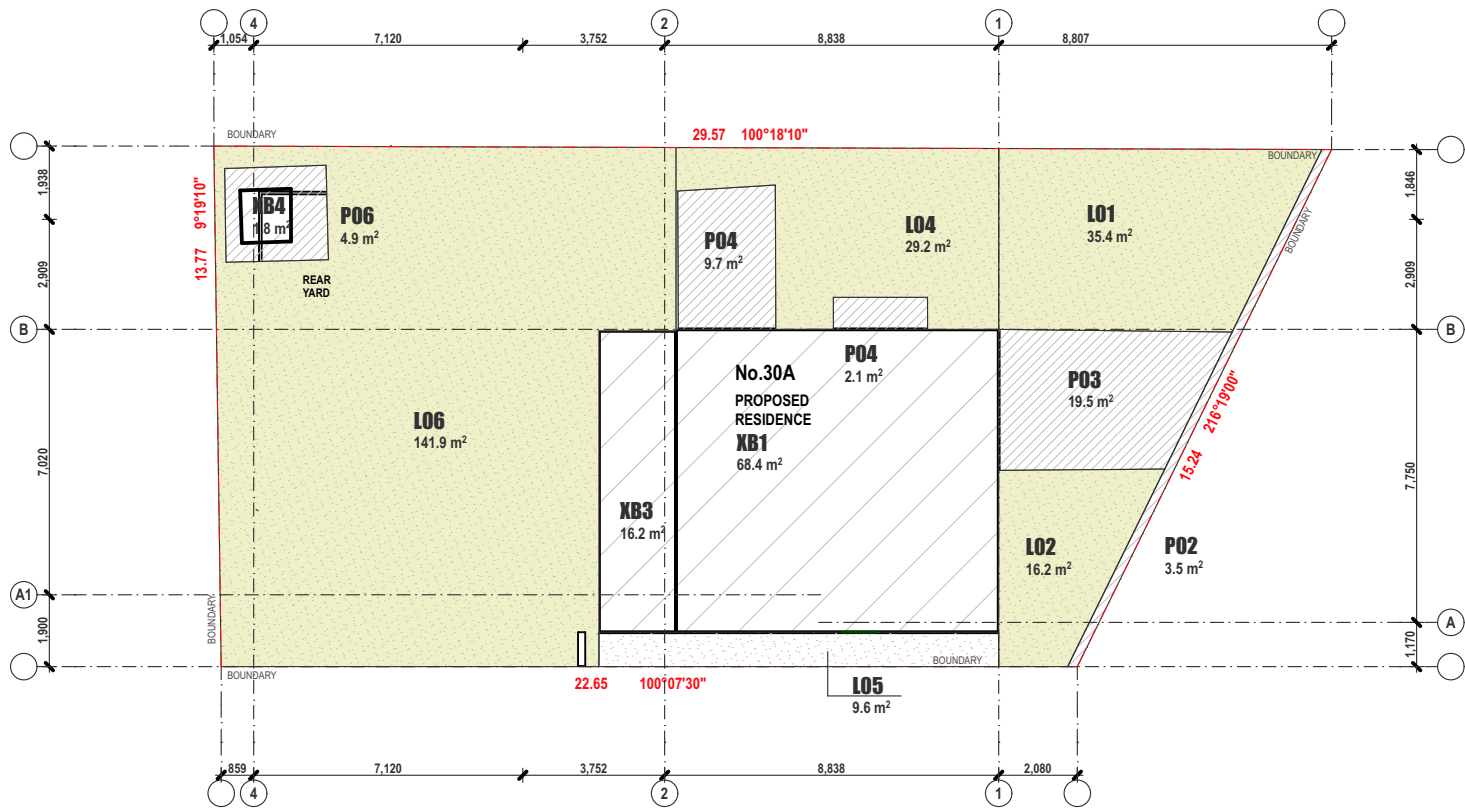


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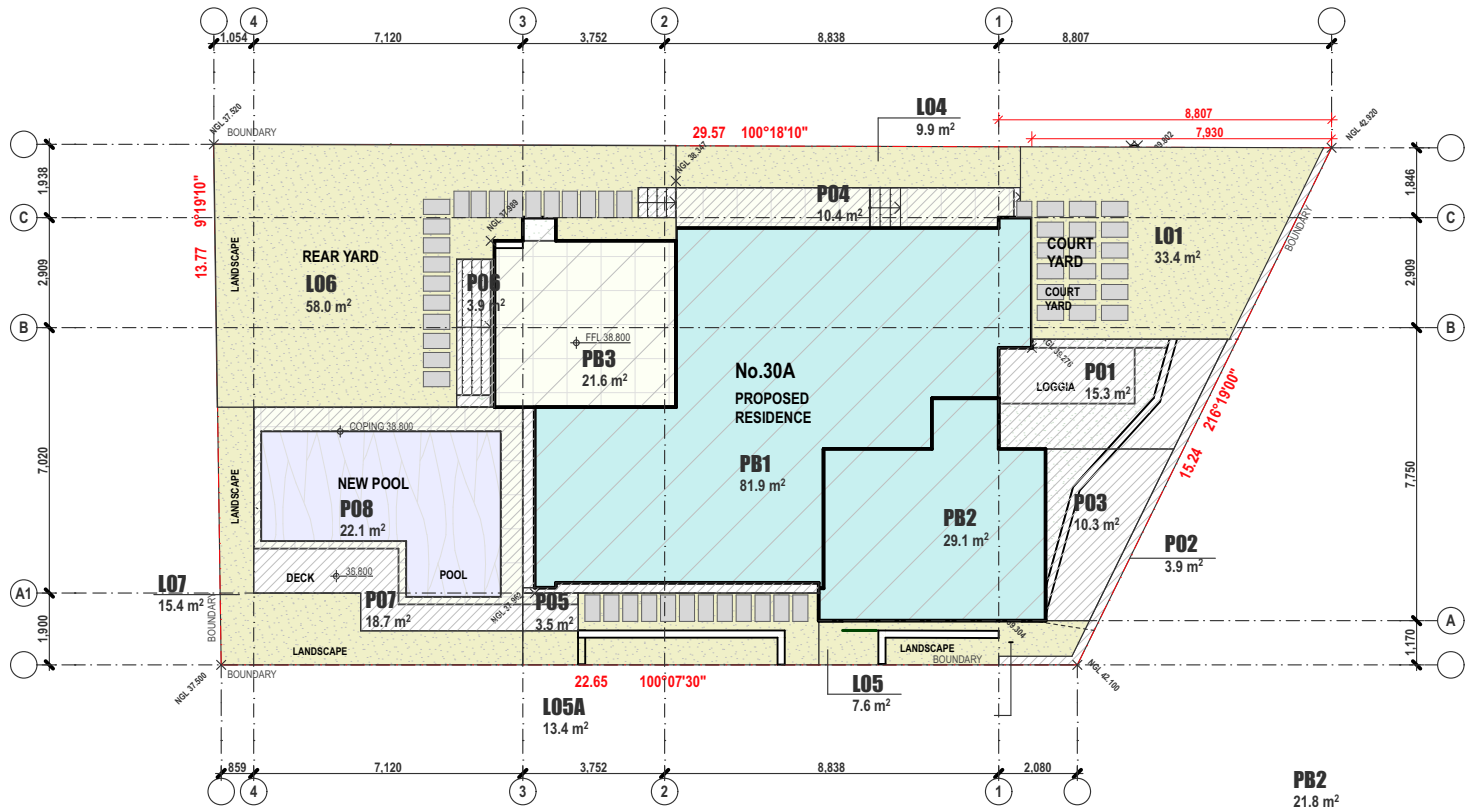
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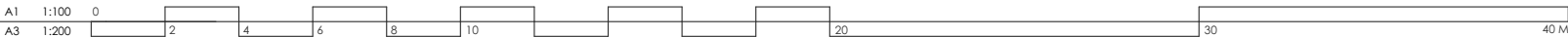
PROPOSED FLOOR PLAN: ROOF
drawing
2135: DA114: C3.1
project drawing no. issue
7/12/2024



2 EXISTING LANDSCAPE CALCULATION PLAN
Scale 1:200



1 PROPOSED LANDSCAPE CALCULATION PLAN
Scale 1:200



5.6

NATIONWIDE HOUSE

ENERGY RATING SCHEME

56.8

MJ/m²

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#HR-62LHNY-01 13/02/2024

Assessor Manuel Basiri
Accreditation No. DMN/12/1462
Address 30A Russell Street,
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LANDSCAPE CALCULATIONS

1. LEGEND

	BUILT AREA INDICATED WITH HATCHING AND AREA NOTED
	OPEN PAVING/ IMPERVIOUS GROUND INDICATED WITH HATCHING AND AREA NOTED
	SOFT LANDSCAPING PERVIOUS GROUND INDICATED WITH SHADING AND AREA NOTED

2. SUMMARY

	EXISTING	PROPOSED
SITE AREA	358.4 m²	358.4 m²
TOTAL IMPERVIOUS AREA	126.1 m²	220.7 m²
PROPORTION OF SITE AREA	35.2%	61.6%
INCREASE IN IMPERVIOUS AREA		94.6 m²
TOTAL PERVIOUS AREA	232.3 m²	137.7 m²
PROPORTION OF SITE AREA	64.8%	38.4%
TOTAL DEEP SOIL AREA	232.3 m²	137.7 m²
PROPORTION OF SITE AREA	64.8%	38.4%

3. DETAILS

3A. BUILT AREA

LOCATION	DESCRIPTION	EXISTING	PROPOSED
XB1	EXIST DWELLING	68.4 m²	0 m²
XB2	EXIST PORCH	0 m²	0 m²
XB3	REAR TERRACE	16.2 m²	0 m²
XB4	EXISTING O/BLDG	1.8 m²	0 m²
PB1	NEW DWELLING	0 m²	81.9 m²
PB2	NEW GARAGE	0 m²	29.1 m²
PB3	NEW TERRACE	0 m²	21.6 m²
TOTAL		86.4 m²	132.6 m²
INCREASE IN BUILT/ ROOF AREA			46.2 m²

3B. FRONT YARD

LOCATION	DESCRIPTION	EXISTING	PROPOSED
L1	OPEN FRONT YARD - OPEN GRASS AREA - PERIMETER PLANTING	16.2 m²	33.4 m²
L2	GARDEN BED - EXIST PLANTING	35.4 m²	0 m²
TOTAL		51.6 m²	33.4 m²

LOCATION	DESCRIPTION	EXISTING	PROPOSED
P1	PATHWAY - CONCRETE PAVING	0 m²	15.3 m²
P2	MASONRY FENCE - BRICKWORK	3.5 m²	3.9 m²
P3	DRIVEWAY - R/C PAVING	19.5 m²	10.3 m²
TOTAL		23 m²	29.5 m²

TOTAL FRONT YARD AREA	74.6 m²	62.9 m²
-----------------------	---------	---------

TOTAL FRONT YARD DEEP SOIL AREA	51.6 m²	33.4 m²
---------------------------------	---------	---------

	69%	53%
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3C. SIDE SETBACKS

LOCATION	DESCRIPTION	EXISTING	PROPOSED
L4	NORTH SETBACK - UNBUILT AREA	29.2 m²	9.9 m²
L5	SOUTH SETBACK < 1.5M DIM	8.9 m²	7.6 m²
L5A	SOUTH SETBACK > 1.5M DIM	0 m²	13.4 m²
TOTAL		38.1 m²	30.9 m²

LOCATION	DESCRIPTION	EXISTING	PROPOSED
P4	NORTH SETBACK - R/C CONCRETE PAVING	11.8 m²	10.4 m²
P5	SOUTH SETBACK - R/C CONCRETE PAVING	0 m²	3.5 m²
TOTAL		11.8 m²	13.9 m²

3D. REAR YARD

LOCATION	DESCRIPTION	EXISTING	PROPOSED
L06	OPEN REAR YARD - OPEN GRASS AREA - PERIMETER PLANTING	142.6 m²	58.0 m²
L07	GARDEN BED - SEL PLANTING	0.0 m²	15.4 m²
TOTAL		142.6 m²	73.4 m²

LOCATION	DESCRIPTION	EXISTING	PROPOSED
P6	PAVED AREA - R/C PAVING	4.9 m²	3.9 m²
P7	POOL TERRACE AREA - R/CONCRETE PAVING	0.0 m²	18.7 m²
P8	POOL SURFACE	0.0 m²	22.1 m²
TOTAL		4.9 m²	44.7 m²

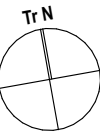
TOTAL REAR YARD AREA	147.5 m²	118.1 m²
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TOTAL REAR YARD DEEP SOIL AREA	142.6 m²	73.4 m²
	97%	62%

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REFERENCES :

DWG#	DESCRIPTION
DA000	NOTES & LEGENDS & BASIX COMMITMENTS
DA100	SERIES - SITE PLANS
DA110	SERIES - KEY FLOOR PLANS
DA140	SERIES - LANDSCAPE PLANS
DA200	SERIES - FLOOR PLANS
DA230	SERIES - WALL SETOUT PLANS
DA300	SERIES - ELEVATIONS
DA400	SERIES - SECTIONS
DA600	SERIES - DETAILS
DA700	SERIES - WINDOW AND DOOR SCHEDULES

DA DOCUMENTATION - NOT FOR CONSTRUCTION

C3.1	S34 WOP SUBMISSION 3	07.02.24
C3	S34 WOP SUBMISSION 2	29.01.24
C2	S34 WOP SUBMISSION	09.12.23
C	DA INFO SUBMISSION	28.06.23
B	DA INFO SUBMISSION	20.02.23
A	DA SUBMISSION	10.12.22
06	DESIGN PRESENTATION	20.05.22
05	PRE-DA SUBMISSION	10.11.21
04	DESIGN PRESENTATION	06.10.21
03	DESIGN PRESENTATION	31.07.21
02	DESIGN PRESENTATION	27.07.21
01	DESIGN PRESENTATION	12.06.21
REV	NOTES	DATE

CLIENT
N & P WILLIAMS
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project

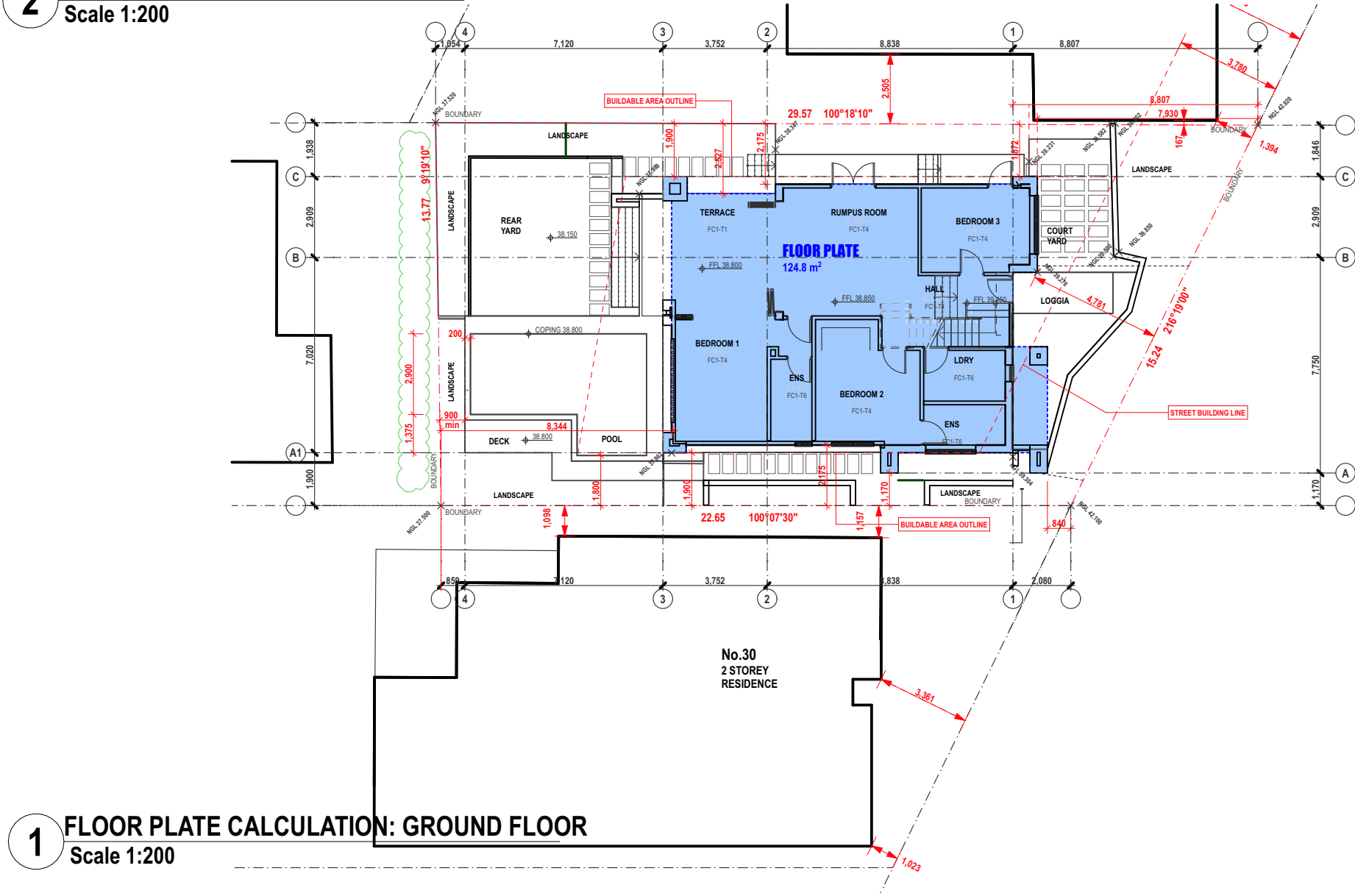
30A
RUSSELL ST
VAUCLUSE
address

VOARC
vourtzoumis architects
nom. architect
kon vourtzoumis aia a+ nsw reg. no. 7011 abn 92 173 845 133
334A homer st earlwood nsw 2206 ph: 9573 1409 e-mail: info@voarc.com.au

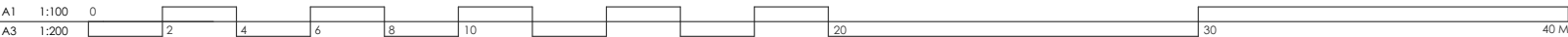
LANDSCAPE CALCULATION PLAN
drawing

2135: DA120: C3.1
project drawing no. issue
7/2/2024

2 BUILDABLE AREA CALCULATION PLAN
Scale 1:200



1 FLOOR PLATE CALCULATION: GROUND FLOOR
Scale 1:200



5.6

NATIONWIDE HOUSE

ENERGY RATING SCHEME

56.8 MJ/m²

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#HR-62LHNY-01 13/02/2024

Assessor Manuel Basiri

Accreditation No. DMN/12/1462

Address 30A Russell Street, Vaucluse, NSW, 2030

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QR CODE

QR CODE

AREA USE LEGEND

- EXTERNAL AREA EXCLUDED FROM CALCULATIONS
- FLOOR PLATE AREA

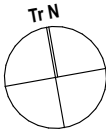
FLOOR PLATE AREA -SUMMARY (DCP)

CONTROL	DCP STANDARD	EXIST. SITE	PROP. SITE
2.1 Max Buildable Area (BA) % of MBA	159 m² 165%	105.2%	164.9%
2.2 Floor Plate Area			
Ground Floor		84.60 m²	124.80 m²
Level 01		84.60 m²	129.70 m²
Level 02		0.00 m²	24.30 m²
Outbuildings		1.80 m²	0.00 m²
Sub-Total		171.00 m²	278.80 m²
Area Concessions			
Garage		0.00 m²	16.60 m²
Final Floor Plate Area (FPA)	262.35 m²	171.00 m²	262.20 m²

NOTES :
DO NOT SCALE OFF DRAWINGS. USE FIGURED DIMENSIONS ONLY.
CHECK ALL DIMENSIONS ON SITE BEFORE THE COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES.
C.O.S DENOTES ITEM TO BE CHECKED ON SITE.

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DA600	SERIES - DETAILS
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project

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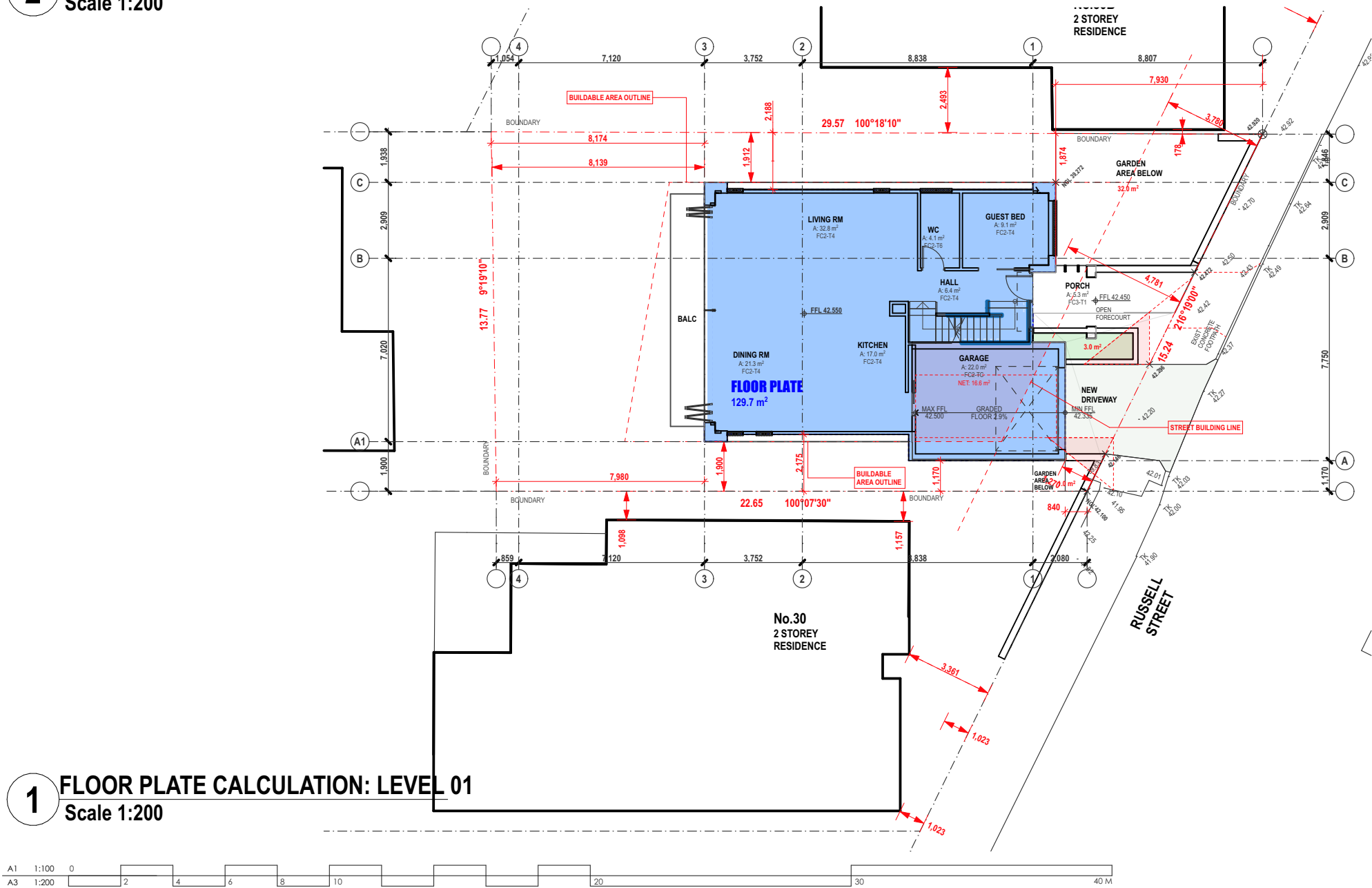
VOARC

vourtzoumis architects
nom. architect
kon vourtzoumis aia a+ nsw reg. no. 7011 abn 92 173 845 133
334A homer st earlwood nsw 2206 ph: 9573 1409 e-mail: info@voarc.com.au

FLOOR PLATE CALCULATION PLAN:
GROUND FLOOR
drawing

2135: DA131: C3.1
project drawing no. issue
7/2/2024

2 FLOOR PLATE CALCULATION: ATTIC FLOOR
Scale 1:200



1 FLOOR PLATE CALCULATION: LEVEL 01
Scale 1:200

#HR-62LHNY-01 13/02/2024

Assessor Manuel Basiri
Accreditation No. DMN/12/1462
Address 30A Russell Street, Vaucluse, NSW, 2030

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AREA USE LEGEND

- EXTERNAL AREA EXCLUDED FROM CALCULATIONS
- FLOOR PLATE AREA

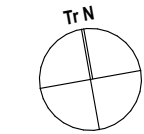
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Garage		0.00 m²	16.60 m²
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334A homer st earlwood nsw 2206 ph: 9573 1409 e-mail: info@voarc.com.au

FLOOR PLATE CALCULATION PLAN:
LEVEL 01 & ATTIC FLOOR
drawing

2135: DA132: C3.1
project drawing no. issue
7/2/2024

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NATIONWIDE HOUSE

QUALITY BUILDING ASSURANCE

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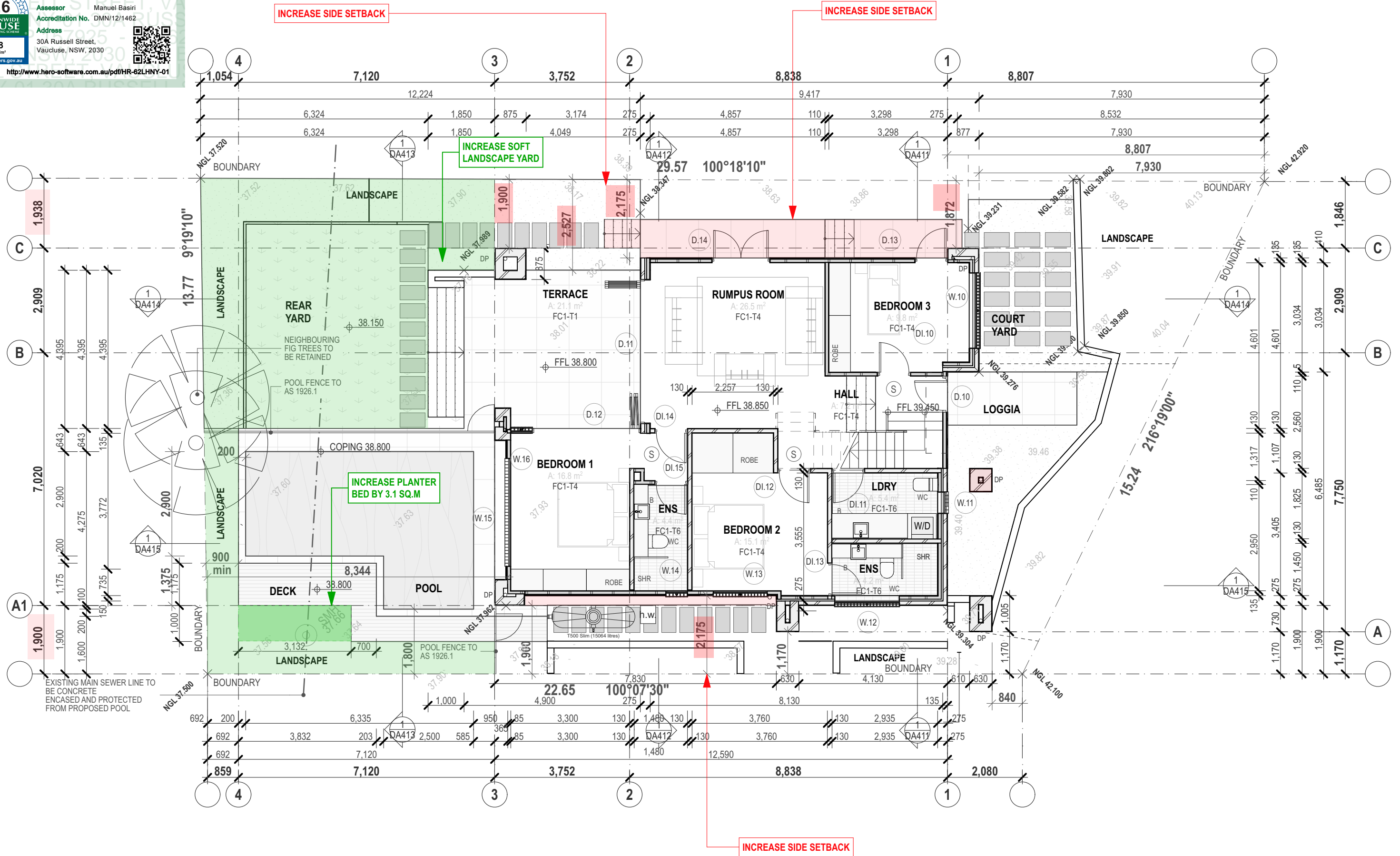
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Assessor Manuel Basiri

Accreditation No. DMN/12/1462

Address 30A Russell Street, Vaucluse, NSW, 2030

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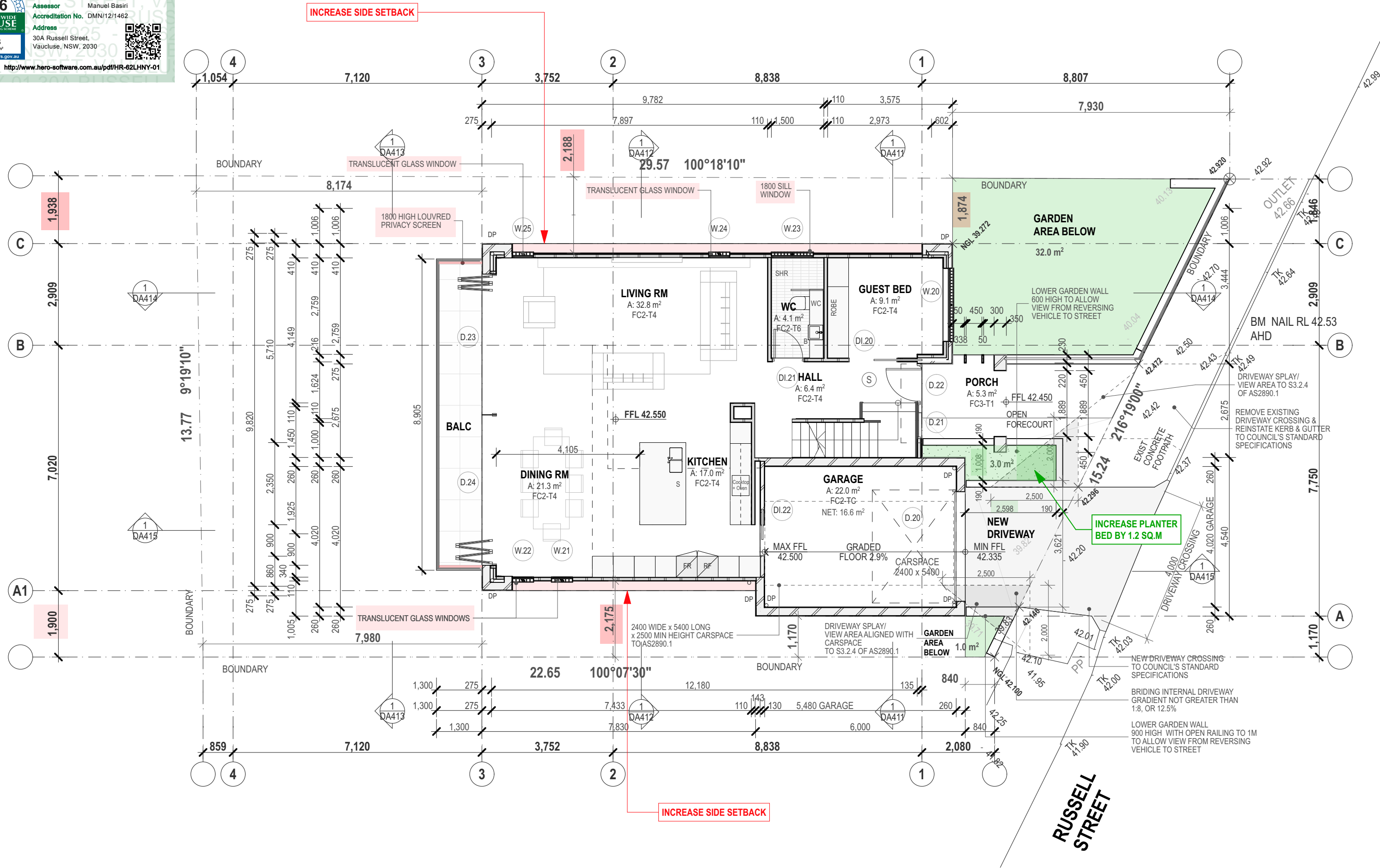
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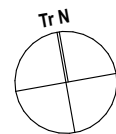
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vourtzoumis architects
nom. architect
kon vourtzoumis aia + nsw reg. no. 7011 abn 92 173 845 133
334A homer st earwood nsw 2206 ph: 9573 1409 e-mail:
info@voarc.com.au

DA DOCUMENTATION - NOT FOR CONSTRUCTION

PROPOSED FLOOR PLAN: LEVEL
01
drawing
2135: DA202: C3.1
project drawing no. issue
7/2/2024

5.6

NATIONWIDE
HOUSE

ENERGY RATING SCHEME

56.8

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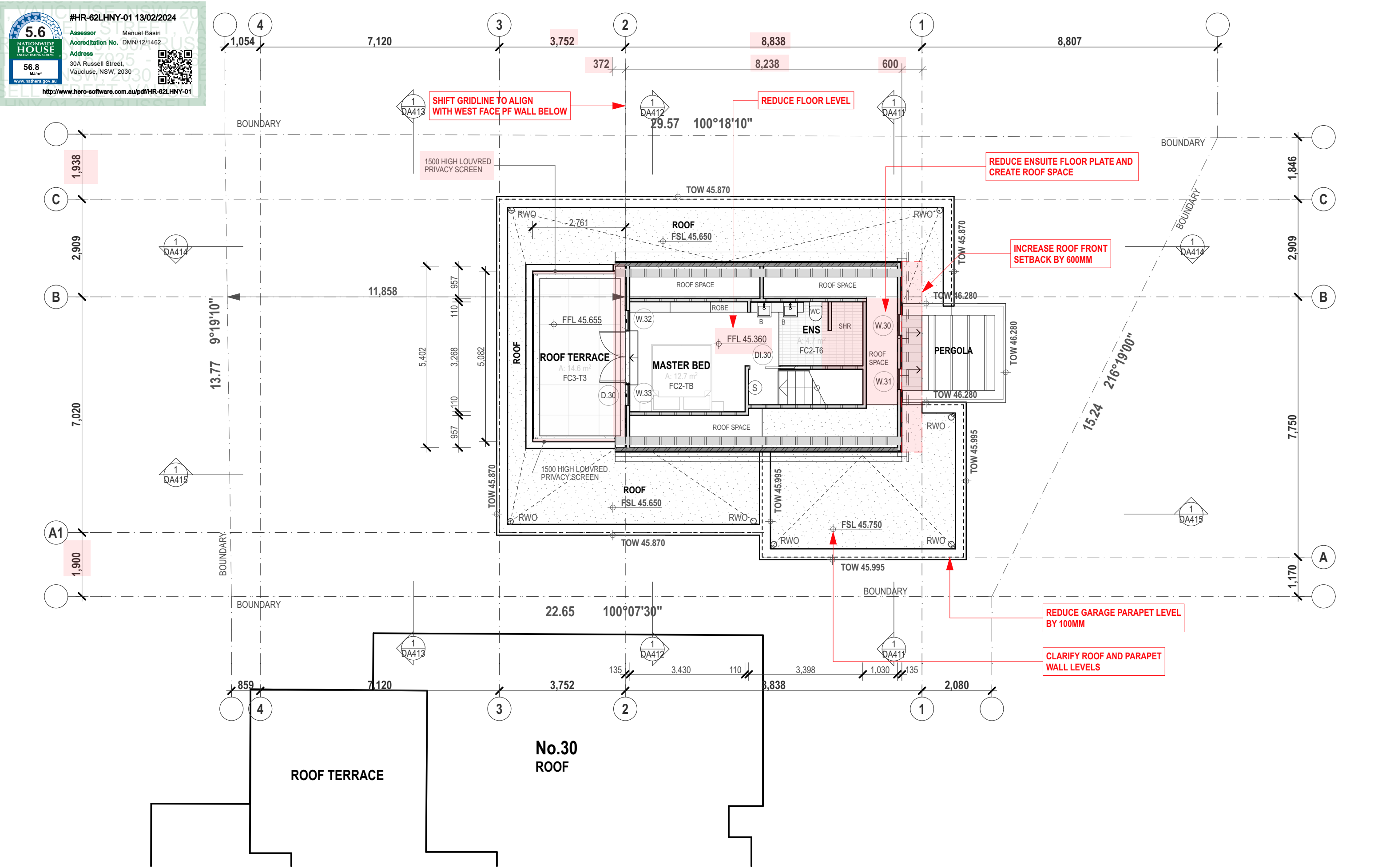
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NATIONWIDE HOUSE ENERGY RATING SCHEME

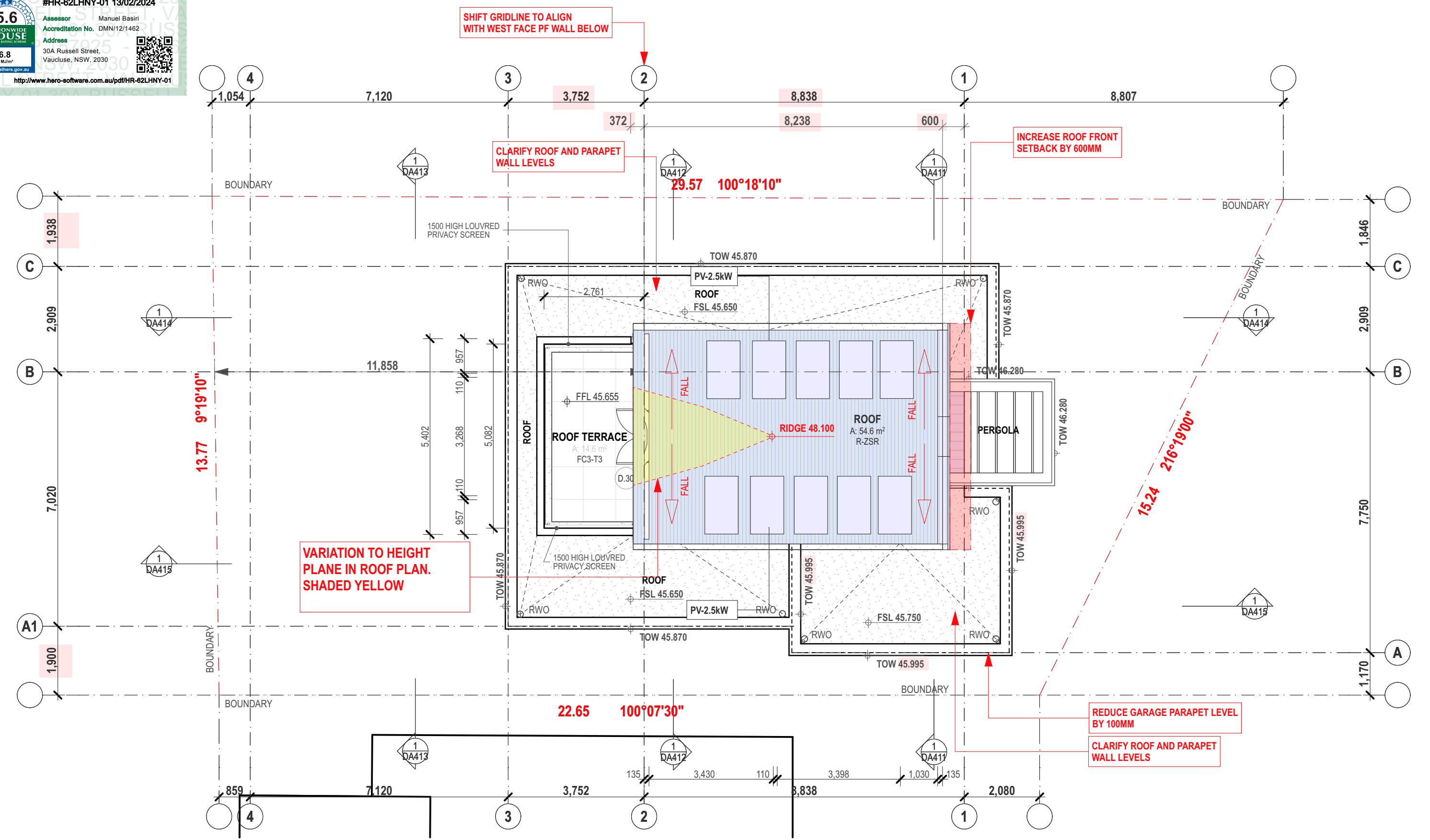
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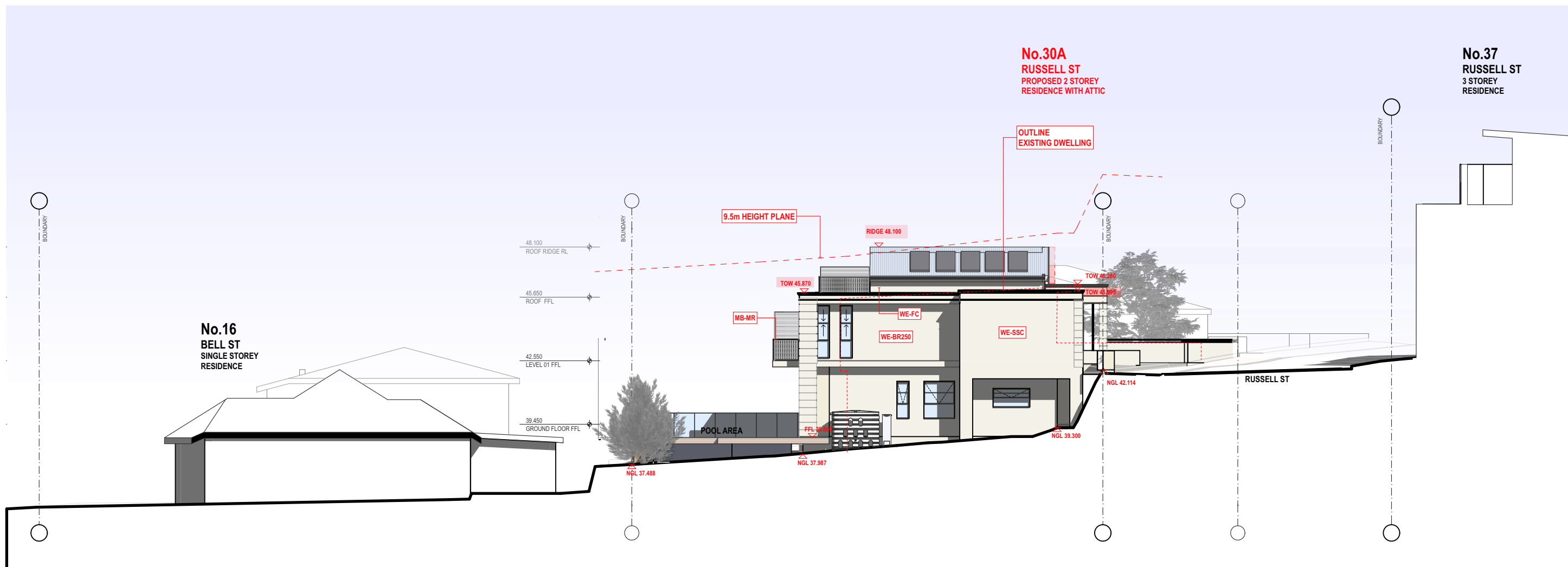
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v o u r t z o u m i s a r c h i t e c t s
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kon vourtzoumis aia a+ nsw reg. no. 7011 abn 92 173 845 133
334A homer st earlwood nsw 2206 ph: 9573 1409 e-mail
info@voarc.com.au

DA DOCUMENTATION - NOT FOR CONSTRUCTION

SITE ELEVATION: NORTH
drawing
2135: DA302: C3.1
project drawing no. issue
7/2/2024



SITE ELEVATION: WEST
drawing
2135: DA303: C3.1
project drawing no. issue
7/2/2024



1 SITE ELEVATION - SOUTH

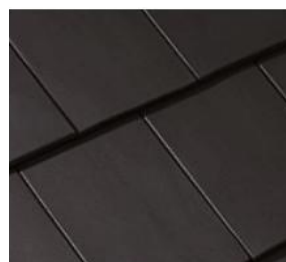
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WE-BR250: WHITE RENDERED WALLS



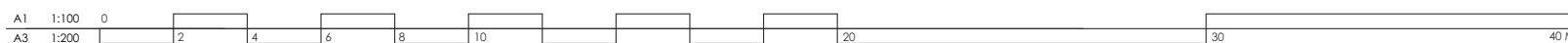
WE-FC: PANELISED WALLING



R-TCT: TILED CLADDING



MB-MR: BLACK METAL WORK



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A	DA SUBMISSION	10.12.22	C3	S34 WOP SUBMISSION 2	29.01.24
06	DESIGN PRESENTATION	20.05.22	C2	S34 WOP SUBMISSION	09.12.23
05	PRE-DA SUBMISSION	10.11.21	C	DA INFO SUBMISSION	28.06.23
rev	notes	date	rev	notes	date

NATHERS STAMP

N & P WILLIAMS
30A RUSSELL ST
VAUCLUSE

client

**NEW
RESIDENCE**
project
30A
RUSSELL ST
VAUCLUSE
address

voarc
v o u r t z o u m i s a r c h i t e c t s
nom. architect
kon vourtoomis aia a+ nsw reg. no. 7011 abn 92 173 845 133
334A homer st earlwood nsw 2206 ph: 9573 1409 e-mail
info@voarc.com.au

DA DOCUMENTATION - NOT FOR CONSTRUCTION

SITE ELEVATION: SOUTH
drawing
2135: DA304: C3.1
project drawing no. issue
7/2/2024



#HR-62LHNY-01 13/02/2024

Assessor Manuel Basiri
Accreditation No. DMN/12/1462
Address 30A Russell Street,
Vaucluse, NSW, 2030

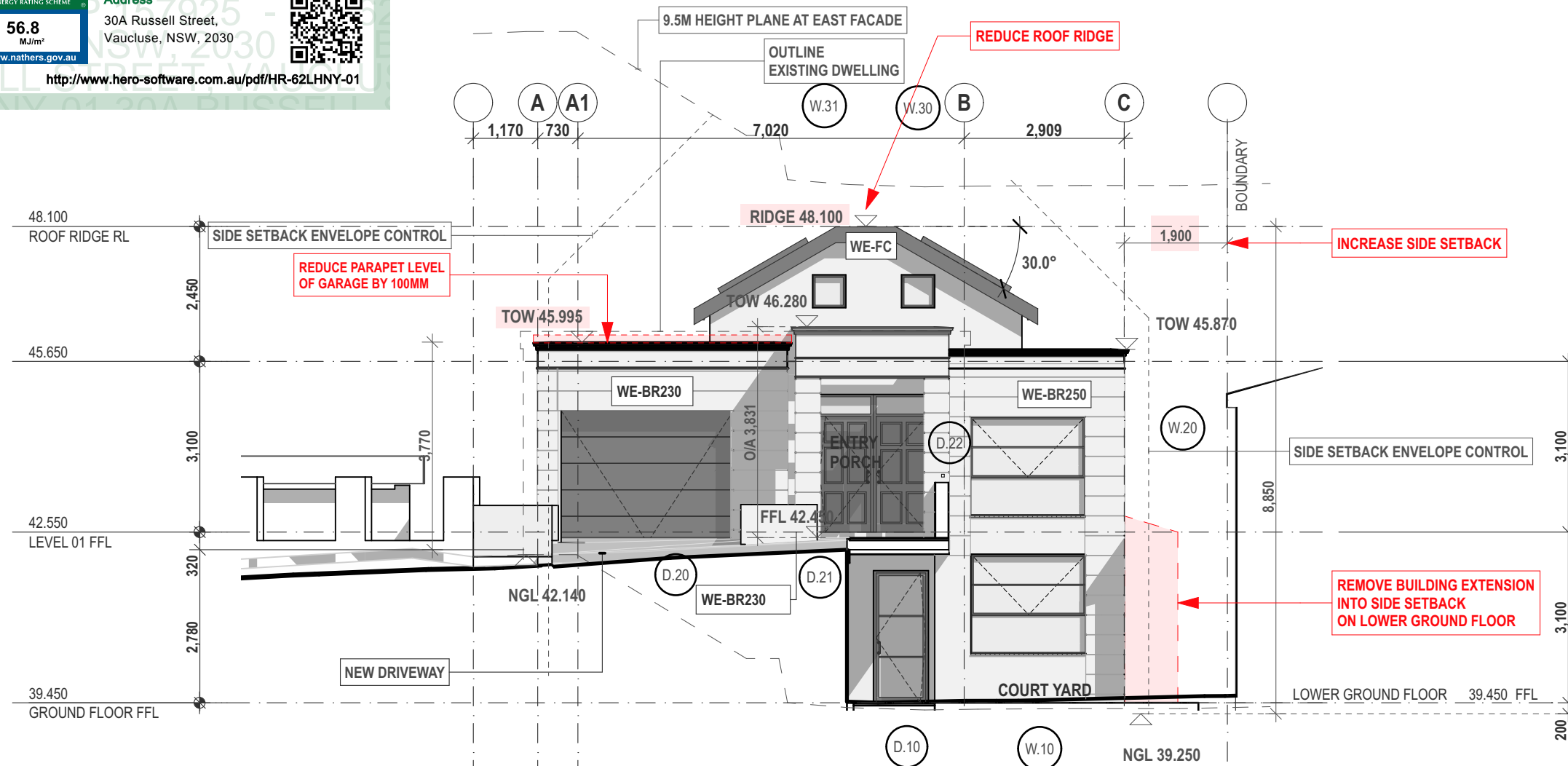


5.6
NATIONWIDE
HOUSE
ENERGY RATING SCHEME

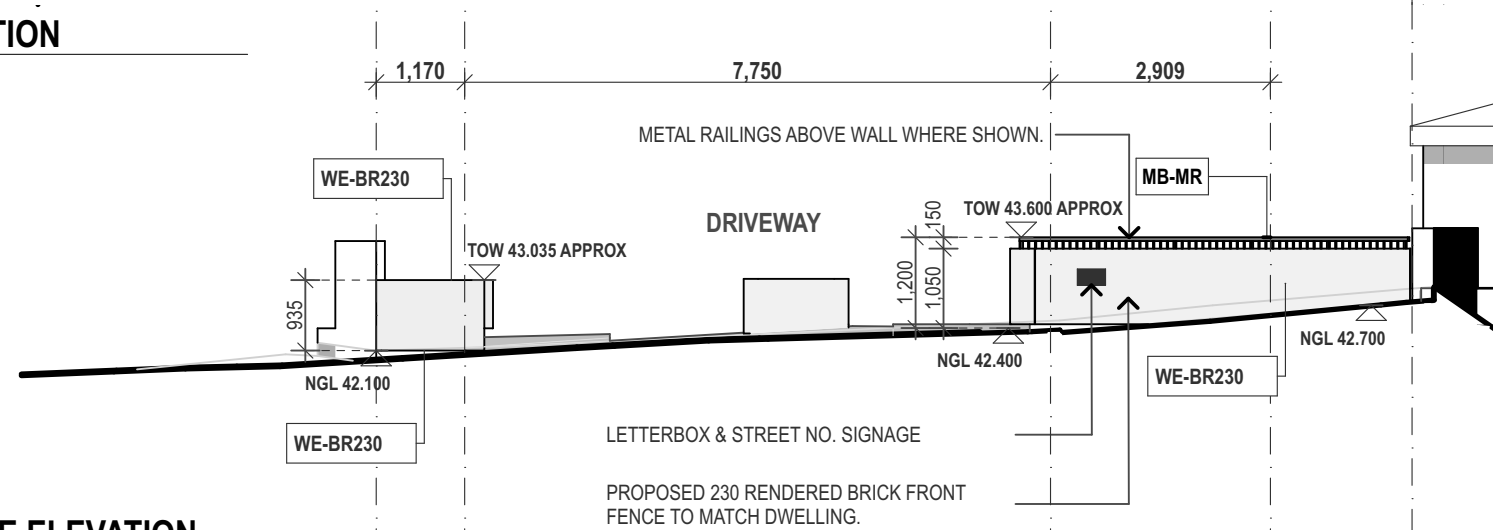
56.8
MJ/m²

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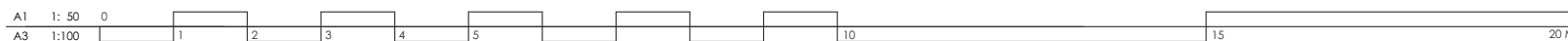


1 EAST ELEVATION
Scale 1:100



2 FRONT FENCE ELEVATION

Scale 1:100



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EAST ELEVATION
drawing
2135: DA311: C3.1
project drawing no. issue
7/2/2024



WE-BR250: WHITE RENDERED WALLS



WE-FC: PANELISED WALLING



R-ZSR: METAL SHEET ROOFING



MB-MR: BLACK METAL WORK

Architectural section drawing of a building, showing internal structure, roof profile, and various annotations. The drawing includes labels for roof ridge, level 01 FFL, ground floor FFL, and lower ground floor. It also shows dimensions, window types (W.21, W.22, W.14, W.13, W.12), and material specifications (PS-AL, MB-MR, WE-BR250, WE-BR230, RWT-A). Annotations include 'LOUVRED PRIVACY SCREEN 1800 HIGH', 'TRANSLUCENT GLASS WINDOWS', 'FENCE-POOL', 'POOL AREA', 'INCREASE WALL SETBACK', and 'REDUCE PARAPET LEVEL OF GARAGE BY 100MM'. The drawing is oriented horizontally with the building's length along the top and bottom edges.

SOUTH ELEVATION
drawing
2135: DA312: C3.1
project drawing no. issue
7/2/2024

[illegible]

WEST ELEVATION
drawing
2135: DA313: C3.1
project drawing no. issue
7/2/2024

5.6

NATIONWIDE HOUSE

56.8

Assessor

Manuel Basiri

Accreditation No. DMN/12/1462

Address

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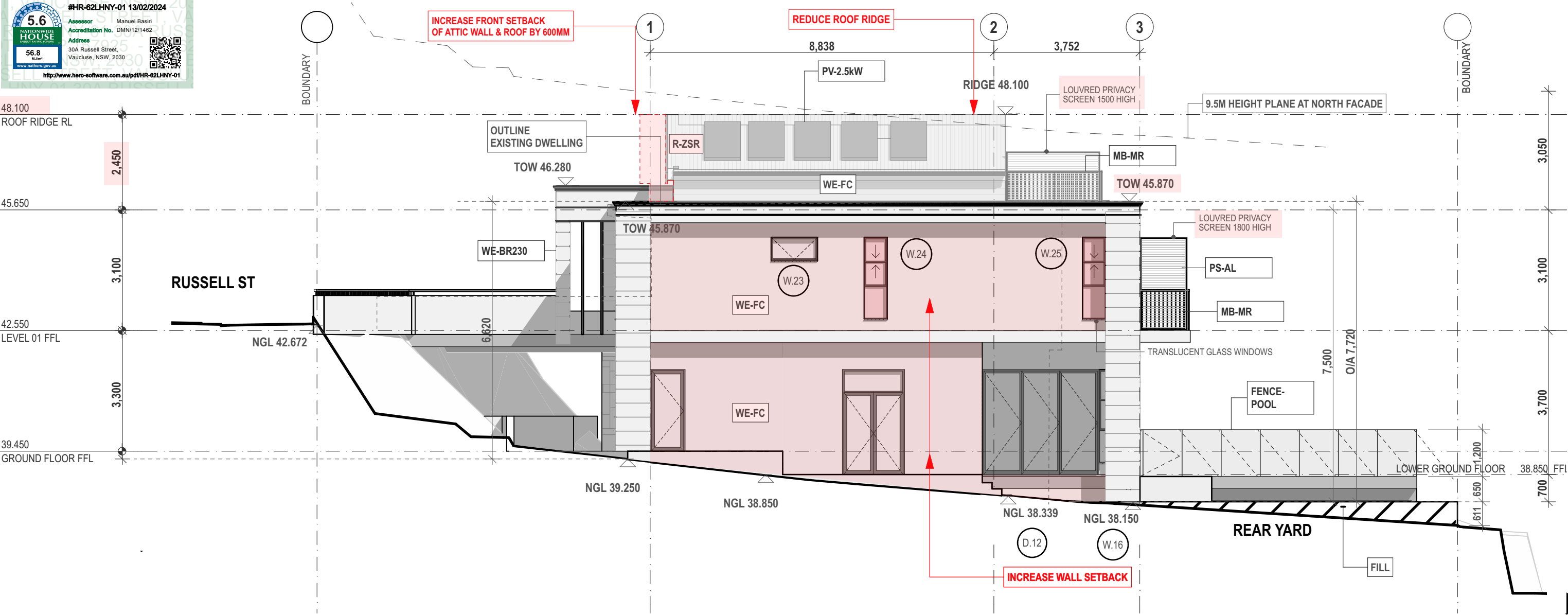
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#HR-62LHNY-01 13/02/2024

QR

QR

QR



1

NORTH ELEVATION

Scale 1:100



WE-BR250: WHITE RENDERED WALLS



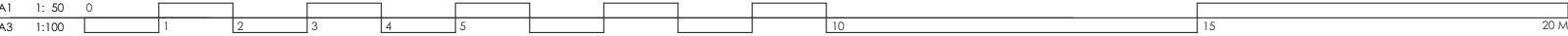
WE-FC: PANELISED WALLING



R-ZSR: METAL SHEET ROOFING



MB-MR: BLACK METAL WORK



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rev	notes	date	rev	notes	date

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VAUCLUSE

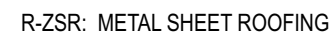
client

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RESIDENCE
project
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RUSSELL ST
VAUCLUSE
address

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vourtzoumis architects
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info@voarc.com.au

DA DOCUMENTATION - NOT FOR CONSTRUCTION

NORTH ELEVATION
drawing
2135: DA314: C3.1
project drawing no. issue
7/2/2024



LONG SECTION
drawing
2135: DA410: C3.1
project drawing no. issue
7/2/2024

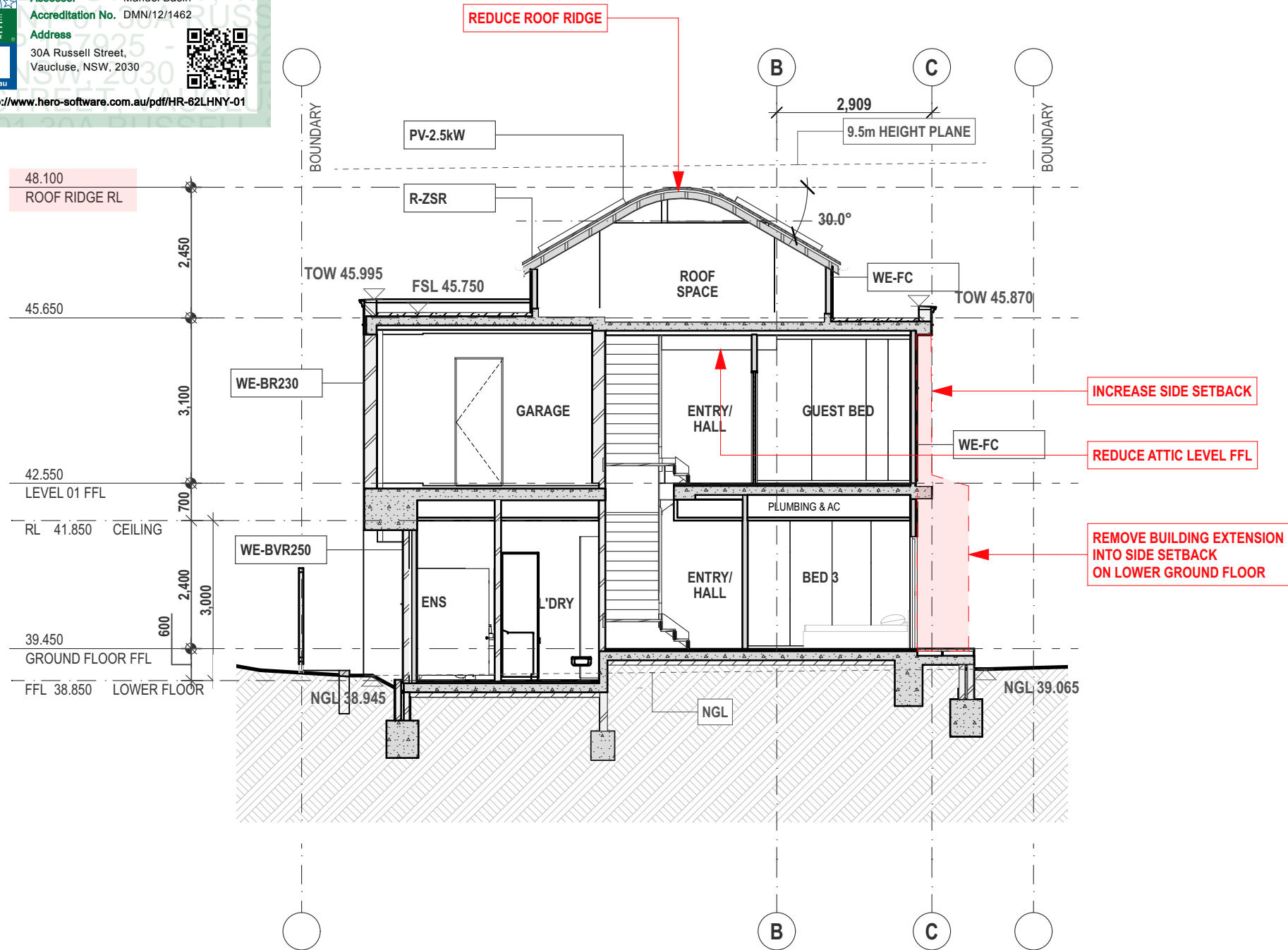
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Assessor Manuel Basiri
Accreditation No. DMN/12/1462

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Vaucluse, NSW, 2030



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1 **SECTION**
Scale 1:100

SPECIFICATION NOTES

Schedule 3 **COMPOSITE CONSTRUCTION SPECS**
3C **WALL CONSTRUCTION**
WE-BR230 **NEW 230MM EXTERNAL RENDERED BRICK WALL**
CONSTRUCTION:
NEW 230MM BRICK EXTERNAL WALL WITH DAMPROOF
COURSES TO CODE

FINISHES:
SEL PAINT ON 13MM CEMENT RENDER TO ALL
EXTERNAL BRICK FACES AND BRICK/ CONCRETE TILE
CAPPING (BC) - TO FINISHES SCHEDULE

INSULATION:
N/A

WE-BVR250

COMPLIANCE:
BCA AND AS3700(BRICKWORK).
NEW 250MM EXT. RENDERED BRICK VENEER WALL
CONSTRUCTION:
NEW 250MM CEMENT RENDERED BRICK VENEER WALL
WITH BRICK TIES, FLASHING, WEEP HOLES,
DAMPPOOF COURSES AND TERMITE RESISTANT
MEASURES TO CODE

FINISHES:
110 BRICK EXTERNAL SKIN WITH 13MM CEMENT
RENDER AND PAINT FINISH TO FINISHES SCHEDULE;
40MM CAVITY; 100 TIMBER OR METAL STUD INTERNAL
WALL FRAMING WITH 13MM PLASTERBOARD INTERNAL
LINING OR 6MM VILLABOARD TO WET AREAS.
SELECTED PAINT FINISH OR TILES TO FINISHES
SCHEDULES.

INSULATION:
AS SPECIFIED ON BASIX OR BCA SECTION J
COMMITMENTS SCHEDULE

WE-FC COMPLIANCE:
BCA; AS1684.2 (TIMBER WORK); AS3700 (BRICKWORK)
AND BASIX CERTIFICATE / BCA SECTION J REPORT
WHERE APPLICABLE.
FRAMED EXTERNAL WALL WITH FC CLADDING
CONSTRUCTION:
NEW TIMBER OR METAL FRAMED EXTERNAL WALL
WITH TERMITE RESISTANT MEASURES TO CODE.

FINISHES:
 PROPRIETARY EXTERNAL FC CLADDING - "HARDIES-
 SCYON", ON SARKING/MOISTURE BARRIER, ON
 BATTENS ON 90 TIMBER OR METAL STUD INTERNAL
 WALL FRAMING WITH 13MM PLASTERBOARD INTERNAL
 LINING OR 6MM VILLABOARD TO WET AREAS.
 SELECTED PAINT FINISH OR TILES TO FINISHES
 SCHEDULES.

INSULATION:
AS SPECIFIED ON BASIX OR BCA SECTION J
COMMITMENTS SCHEDULE

COMPLIANCE:
BCA: AS1684.2 (TIMBER WORK); AND BASIX
CERTIFICATE/ BCA SECTION J REPORT WHERE
APPLICABLE.

3D
R-TCT

ROOF CONSTRUCTION
NEW FRAMED ROOF WITH TILED CLADDING
CONSTRUCTION:
NEW FRAMED ROOF STRUCTURE. TERMITE
RESISTANT TREATED TIMBER FRAMING SYSTEM TO AS
CODE OR ENGINEER'S DETAILS FOR STEEL AND
COMPOSITE TIMBER JOIST COMPONENTS. ROOF
PITCH(S)AND GEOMETRY AS SHOWN ON DRAWINGS.

FINISHES:
SELECTED TILE CLADDING TO FINISHES SCHEDULES
AND COMPATIBLE WITH ROOF PITCH - TO
MANUFACTURER'S RECOMMENDATIONS AND
WARRANTY. 13MM PLASTERBOARD FINISH TO CEILING
UNDER WITH SEL. CORNICE STYLE AND FINISH AS PER
FINISHES SCHEDULES
SELECTED GUTTERS AND DOWNPIPES AS SPECIFIED
AND SCHEDULE TO DISCHARGE TO PROPOSED
STORMWATER SYSTEM - REFER CONCEPT
STORMWATER PLAN.

INSULATION:
 PROVIDE PROPRIETARY R1.0 REFLECTIVE FOIL
 SARKING AND INSULATION INSTALLED TO UNDERSIDE
 OF ROOF CLADDING
 PROVIDE NON-FLAMMABLE BULK INSULATION ABOVE
 CEILING- "TONTINE". R VALUE TO BE AS SPECIFIED ON
 BASIS OR BCA SECTION J COMMITMENTS SCHEDULE

COMPLIANCE:
BCA; AS1684.2 (TIMBER WORK); AND BASIX
CERTIFICATE/ BCA SECTION J REPORT WHERE
APPLICABLE.
WIND CLASSIFICATION: AS SPECIFIED ON PROJECT
COMPLIANCE SCHEDULE

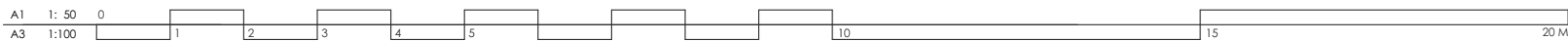
3F
PV-2.5kW

EXTERNAL SERVICES & APPLIANCES

PHOTOVOLTAIC SOLAR PANELS - 2.5kW CAPACITY
CONSTRUCTION:
ROOF TOP MOUNTED PHOTOVOLTAIC ELECTRICITY
GENERATING SOLAR PANELS CONNECT TO
ELECTRICITY SWITCH AND METER - 2.5kW PEAK
CAPACITY MINIMUM.

ENERGY EFFICIENCY:
AS SPECIFIED ON BASIX COMMITMENTS SCHEDULE

COMPLIANCE:
ENERGY SUPPLIER INSTALLATION REQUIREMENTS,
AND RELEVANT AUSTRALIAN STANDARDS.



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rev	notes	date	rev	notes	date

NATHERS STAMP

N & P WILLIAMS
30A RUSSELL ST
VAUCLUSE

client

**NEW
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30A
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info@voarc.com.au

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CROSS SECTION

drawing
2135: DA411: C3.1
project drawing no. issue
7/2/2024



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CROSS SECTION
drawing
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project drawing no. issue
7/12/2024

COMPLIANCE:
OVERALL HEIGHT 1000MM ABOVE TERRACE/BALCONY FLOOR
OR STAIR NOSINGS & COMPLIANT WITH BCA Vol 2 Cl 3.9.2.
ENSURE NO OPENINGS OF MORE THAN 125MM AND NO
FOOTHOLDS.

COMPLIANCE:
ENERGY SUPPLIER INSTALLATION REQUIREMENTS, AND
RELEVANT AUSTRALIAN STANDARDS.



3E
MB-MR



SPECIFICATION NOTES

FINISHES:
TO FINISHES SCHEDULE

COMPLIANCE:
COMPLIANCE WITH AS1926.1

FINISHES:
POOL FINISHES TO FUTURE DETAIL AND FINISHES
SCHEDULE

CAPACITY:
POOL VOLUME TO BE AS SPECIFIED ON BASIX OR BCA
SECTION J COMMITMENTS SCHEDULE



#HR-62LHNY-01 13/02/2024

Assessor Manuel Basiri

Accreditation No. DMN/12/1462

Address 30A Russell Street,
Vaulcuse, NSW, 2030



5.6

NATIONWIDE HOUSE
ENERGY RATING SCHEME

56.8
MJ/m²

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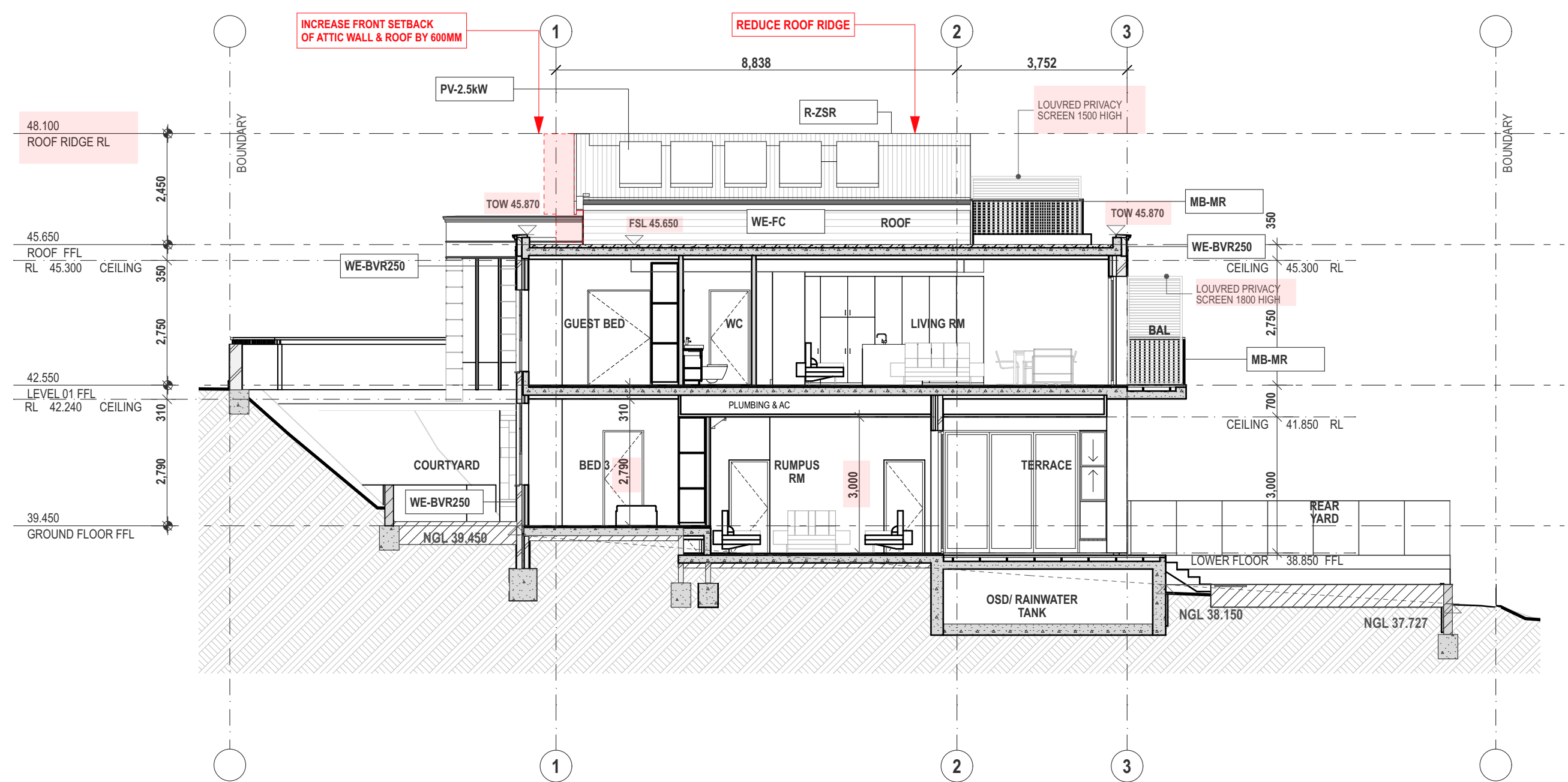
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voarc
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info@voarc.com.au

POOL SECTION
drawing
2135: DA413: C3.1
project drawing no. issue
7/2/2024

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SPECIFICATION NOTES

Schedule 3
3C
WE-BVR250

COMPOSITE CONSTRUCTION SPECS
WALL CONSTRUCTION
NEW 250MM EXT. RENDERED BRICK VENEER WALL
CONSTRUCTION:
NEW 250MM CEMENT RENDERED BRICK VENEER WALL WITH BRICK TIES, FLASHING, WEEP HOLES, DAMPROOF COURSES AND TERMITE RESISTANT MEASURES TO CODE

FINISHES:
110 BRICK EXTERNAL SKIN WITH 13MM CEMENT RENDER AND PAINT FINISH TO FINISHES SCHEDULE; 40MM CAVITY; 100 TIMBER OR METAL STUD INTERNAL WALL FRAMING WITH 13MM PLASTERBOARD INTERNAL LINING OR 6MM VILLABOARD TO WET AREAS. SELECTED PAINT FINISH OR TILES TO FINISHES SCHEDULES.

INSULATION:
AS SPECIFIED ON BASIX OR BCA SECTION J COMMITMENTS SCHEDULE

COMPLIANCE:
BCA; AS1684.2 (TIMBER WORK); AS3700 (BRICKWORK) AND BASIX CERTIFICATE / BCA SECTION J REPORT

WE-FC

WHERE APPLICABLE.
FRAMED EXTERNAL WALL WITH FC CLADDING
CONSTRUCTION:
NEW TIMBER OR METAL FRAMED EXTERNAL WALL WITH TERMITE RESISTANT MEASURES TO CODE.

FINISHES:
PROPRIETARY EXTERNAL FC CLADDING - "HARDIES-SCYON", ON SARKING/MOISTURE BARRIER, ON BATTENS ON 90 TIMBER OR METAL STUD INTERNAL WALL FRAMING WITH 13MM PLASTERBOARD INTERNAL LINING OR 6MM VILLABOARD TO WET AREAS. SELECTED PAINT FINISH OR TILES TO FINISHES SCHEDULES.

INSULATION:
AS SPECIFIED ON BASIX OR BCA SECTION J COMMITMENTS SCHEDULE

COMPLIANCE:
BCA; AS1684.2 (TIMBER WORK); AND BASIX CERTIFICATE/ BCA SECTION J REPORT WHERE APPLICABLE.

ROOF CONSTRUCTION
NEW FRAMED ROOF WITH TILED CLADDING
CONSTRUCTION:
NEW FRAMED ROOF STRUCTURE. TERMITE

3D
R-TCT

RESISTANT TREATED TIMBER FRAMING SYSTEM TO AS CODE OR ENGINEER'S DETAILS FOR STEEL AND COMPOSITE TIMBER JOIST COMPONENTS. ROOF PITCH(S) AND GEOMETRY AS SHOWN ON DRAWINGS.

FINISHES:
SELECTED TILE CLADDING TO FINISHES SCHEDULES AND COMPATIBLE WITH ROOF PITCH - TO MANUFACTURER'S RECOMMENDATIONS AND WARRANTY. 13MM PLASTERBOARD FINISH TO CEILING UNDER WITH SEL. CORNICE STYLE AND FINISH AS PER FINISHES SCHEDULES
SELECTED GUTTERS AND DOWNPIPES AS SPECIFIED AND SCHEDULE TO DISCHARGE TO PROPOSED STORMWATER SYSTEM - REFER CONCEPT STORMWATER PLAN.

INSULATION:
PROVIDE PROPRIETARY R1.0 REFLECTIVE FOIL SARKING AND INSULATION INSTALLED TO UNDERSIDE OF ROOF CLADDING
PROVIDE NON-FLAMMABLE BULK INSULATION ABOVE CEILING- "TONTINE". R VALUE TO BE AS SPECIFIED ON BASIX OR BCA SECTION J COMMITMENTS SCHEDULE

COMPLIANCE:
BCA; AS1684.2 (TIMBER WORK); AND BASIX CERTIFICATE/ BCA SECTION J REPORT WHERE APPLICABLE.
WIND CLASSIFICATION: AS SPECIFIED ON PROJECT COMPLIANCE SCHEDULE

3E
MB-MR

FITTINGS & TRIMMINGS
METAL FRAMED BALUSTRADE - METAL RAILING
CONSTRUCTION:
FRAME - STAINLESS STEEL SHS STAUNCHIONS, AND FIXED TO SIDE OF CONCRETE BALCONY/ STAIR SLAB EDGE WITH RECESSED STEEL FIXING PLATE.

FINISHES:
PROPRIETARY 5 X 40MM @ 30MM SPACED ALUMINIUM RAILING PANEL VERTICALLY ORIENTATED- EQUAL TO "WEBFORGE - LOCKLINE SERIES PATTERN A" - ANODISED FINISH.

COMPLIANCE:
OVERALL HEIGHT 1000MM ABOVE TERRACE/BALCONY FLOOR OR STAIR NOSINGS & COMPLIANT WITH BCA Vol 2 Cl 3.9.2. ENSURE NO OPENINGS OF MORE THAN 125MM AND NO FOOTHOLDS.

EXTERNAL SERVICES & APPLIANCES
PHOTOVOLTAIC SOLAR PANELS - 2.5kW CAPACITY
CONSTRUCTION:
ROOF TOP MOUNTED PHOTOVOLTAIC ELECTRICITY GENERATING SOLAR PANELS CONNECT TO ELECTRICITY SWITCH AND METER - 2.5kW PEAK CAPACITY MINIMUM.

ENERGY

EFFICIENCY:
AS SPECIFIED ON BASIX COMMITMENTS SCHEDULE

COMPLIANCE:
ENERGY SUPPLIER INSTALLATION REQUIREMENTS, AND RELEVANT AUSTRALIAN STANDARDS.



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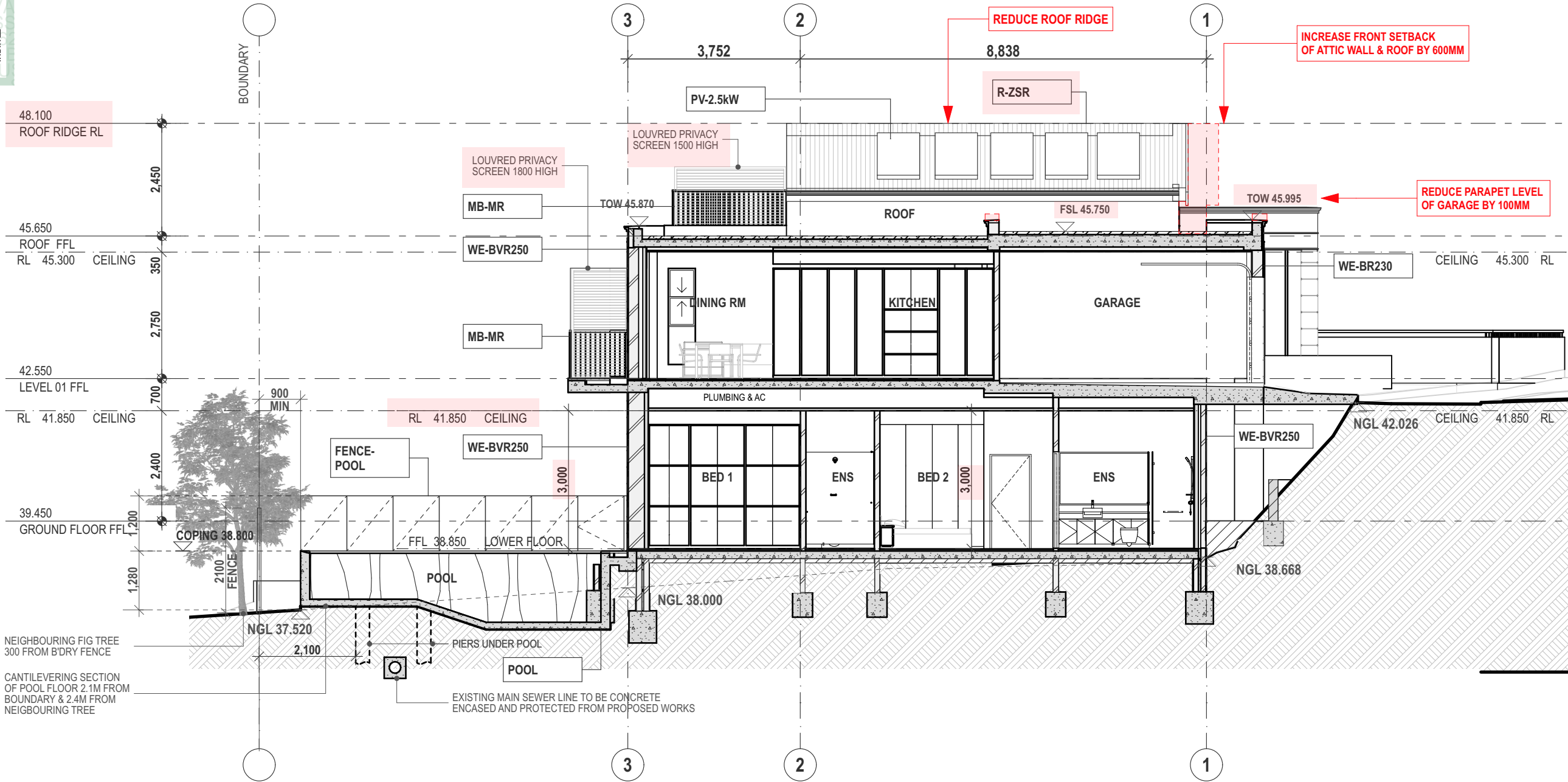
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334A homer st earlwood nsw 2206 ph: 9573 1409 e-mail: info@voarc.com.au

DA DOCUMENTATION - NOT FOR CONSTRUCTION

LONG SECTION
drawing
2135: DA414: C3.1
project drawing no. issue
7/2/2024



SPECIFICATION NOTES

Schedule 3
3C
WE-BR230

COMPOSITE CONSTRUCTION SPECS
WALL CONSTRUCTION
NEW 230MM EXTERNAL RENDERED BRICK WALL
CONSTRUCTION:
NEW 230MM BRICK EXTERNAL WALL WITH DAMPROOF COURSES TO CODE

FINISHES:
SEL PAINT ON 13MM CEMENT RENDER TO ALL EXTERNAL BRICK FACES AND BRICK HOLES, CAPPING (BC) - TO FINISHES SCHEDULE

INSULATION:
N/A

COMPLIANCE:
BCA AND AS3700(BRICKWORK).
NEW 250MM EXT. RENDERED BRICK VENEER WALL
CONSTRUCTION:
NEW 250MM CEMENT RENDERED BRICK VENEER WALL WITH BRICK TIES, FLASHING, WEEP HOLES, DAMPROOF COURSES AND TERMITE RESISTANT MEASURES TO CODE

FINISHES:
110 BRICK EXTERNAL SKIN WITH 13MM CEMENT RENDER AND PAINT FINISH TO FINISHES SCHEDULE; 40MM CAVITY; 100 TIMBER OR METAL STUD INTERNAL WALL FRAMING WITH 13MM PLASTERBOARD INTERNAL LINING OR 6MM VILBOARD TO WET AREAS.

3D
R-TCT

SELECTED PAINT FINISH OR TILES TO FINISHES SCHEDULES.

INSULATION:
AS SPECIFIED ON BASIX OR BCA SECTION J COMMITMENTS SCHEDULE

COMPLIANCE:
BCA; AS1684.2 (TIMBER WORK); AS3700 (BRICKWORK) AND BASIX CERTIFICATE / BCA SECTION J REPORT WHERE APPLICABLE.

ROOF CONSTRUCTION
NEW FRAMED ROOF WITH TILED CLADDING
CONSTRUCTION:
NEW FRAMED ROOF STRUCTURE. TERMITE RESISTANT TREATED TIMBER FRAMING SYSTEM TO AS CODE OR ENGINEER'S DETAILS FOR STEEL AND COMPOSITE TIMBER JOIST COMPONENTS. ROOF PITCH(S) AND GEOMETRY AS SHOWN ON DRAWINGS.

FINISHES:
SELECTED TILE CLADDING TO FINISHES SCHEDULES AND COMPATIBLE WITH ROOF PITCH - TO MANUFACTURER'S RECOMMENDATIONS AND WARRANTY. 13MM PLASTERBOARD FINISH TO CEILING UNDER WITH SEL. CORNICE STYLE AND FINISH AS PER FINISHES SCHEDULES
SELECTED GUTTERS AND DOWNPIPES AS SPECIFIED AND SCHEDULE TO DISCHARGE TO PROPOSED STORMWATER SYSTEM - REFER CONCEPT STORMWATER

3E
MB-MR

PLAN.

INSULATION:
PROVIDE PROPRIETARY R1.0 REFLECTIVE FOIL SARKING AND INSULATION INSTALLED TO UNDERSIDE OF ROOF CLADDING
PROVIDE NON-FLAMMABLE BULK INSULATION ABOVE CEILING- "TONTINE". R VALUE TO BE AS SPECIFIED ON BASIX OR BCA SECTION J COMMITMENTS SCHEDULE

COMPLIANCE:
BCA; AS1684.2 (TIMBER WORK); AND BASIX CERTIFICATE/ BCA SECTION J REPORT WHERE APPLICABLE.
WIND CLASSIFICATION: AS SPECIFIED ON PROJECT COMPLIANCE SCHEDULE
FITTINGS & TRIMMINGS
METAL FRAMED BALUSTRADE - METAL RAILING
CONSTRUCTION:
FRAME - STAINLESS STEEL SHS STAUNCHIONS, AND FIXED TO SIDE OF CONCRETE BALCONY/ STAIR SLAB EDGE WITH RECESSED STEEL FIXING PLATE.

FINISHES:
PROPRIETARY 5 X 40MM @ 30MM SPACED ALUMINIUM RAILING PANEL VERTICALLY ORIENTATED- EQUAL TO "WEBFORGE - LOCKLINE SERIES PATTERN A" - ANODISED FINISH.

COMPLIANCE:
OVERALL HEIGHT 1000MM ABOVE TERRACE/BALCONY FLOOR OR STAIR NOSINGS & COMPLIANT WITH BCA

3F
PV-2.5kW

Vol 2 Cl 3.9.2. ENSURE NO OPENINGS OF MORE THAN 125MM AND NO FOOTHOLDS.
EXTERNAL SERVICES & APPLIANCES
PHOTOVOLTAIC SOLAR PANELS - 2.5kW CAPACITY
CONSTRUCTION:
ROOF TOP MOUNTED PHOTOVOLTAIC ELECTRICITY GENERATING SOLAR PANELS CONNECT TO ELECTRICITY SWITCH AND METER - 2.5kW PEAK CAPACITY MINIMUM.

ENERGY EFFICIENCY:
AS SPECIFIED ON BASIX COMMITMENTS SCHEDULE

COMPLIANCE:
ENERGY SUPPLIER INSTALLATION REQUIREMENTS, AND RELEVANT AUSTRALIAN STANDARDS.
LANDSCAPE CONSTRUCTIONS
POOL FENCE CONSTRUCTION
CONSTRUCTION:
TOUGHENED GLASS POOL FENCE 1200 HIGH ABOVE POOL DECK LEVEL PATCH FITTED ONTO GAL. STEEL "T" SECTION STAUNCHIONS SET 150MM BELOW TOP OF GLASS. ENSURE NO CLIMBABLE SURFACES TO OUTSIDE OF FENCE BETWEEN 150MM AND 1100MM ABOVE POOL DECK LEVEL - IN ACCORDANCE WITH AS1926.1 &2 AND BCA BALUSTRADE REGULATIONS. MAX. GAP BETWEEN GLASS PANELS AT JOINTS TO BE 20MM. GATE TO BE OF SIMILAR CONSTRUCTION TO FENCE AND OPEN OUTWARDS WITH CHILDPROOF LATCH - TO CODE

FINISHES:

POOL

TO FINISHES SCHEDULE

COMPLIANCE:
COMPLIANCE WITH AS1926.1

POOL CONSTRUCTION
CONSTRUCTION:
R/CONCRETE POOL TO ENGINEER'S DETAILS AND SELECTED FINISHES TO FURTHER DETAIL.
- ELECTRICAL WIRING FOR UNDERWATER LIGHTING TO BE INSTALLED IN ACCORDANCE WITH AS 3000 PART 1.
- PROVIDE CHILD RESISTANT SAFETY FENCE IN ACCORDANCE WITH AS 1926-1993, SWIMMING POOLS ACT 1992 AND SWIMMING POOLS REGULATION 2008 AND INSPECTED BY PCA PRIOR TO FILLING POOL WITH WATER - IN ACCORDANCE WITH DA CONDITIONS.
- POOL PAVING IS TO FALL AWAY FROM THE POOL, OR KERBED UNDER THE RAISED PAVERS TO PREVENT STORMWATER RUNNING INTO THE POOL.
- PROVIDE WARNING SIGN "YOUNG CHILDREN SHOULD BE SUPERVISED WHEN USING THIS POOL" IN A HIGHLY VISIBLE LOCATION IN THE VICINITY OF THE POOL IN ACCORDANCE WITH DA CONDITIONS.
- WATER DEPTH MARKERS ARE TO BE DISPLAYED AT A PROMINENT POSITION WITHIN AND AT EACH END OF THE POOL.
- POOL WASTEWATERS DISCHARGING TO MAIN SEWERAGE SYSTEM, SUBMITTED TO AND APPROVED BY SYDNEY WATER, IN ACCORDANCE WITH APPROVAL

CONDITIONS.

FINISHES:
POOL FINISHES TO FUTURE DETAIL AND FINISHES SCHEDULE

CAPACITY:
POOL VOLUME TO BE AS SPECIFIED ON BASIX OR BCA SECTION J COMMITMENTS SCHEDULE



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rev	notes	date	rev	notes	date

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LONG SECTION
drawing
2135: DA415: C3.1
project drawing no. issue
7/2/2024

WINDOW SCHEDULE												
FLOOR LEVEL	WINDOW No.	FRAME TYPE	OPER-ATION STYLE	X(HORIZ) OPENING MM	Y(VERT) OPENING MM	SILL HEIGHT MM	GLAZING TYPE	GLAZING TREAT-MENT	WINDOW PERFORM.	EXT SHADING	OUTLOOK	SURFACE AREA (SQ.M)
GROUND FLOOR FFL												
	W.10	STANDARD ALUMINIUM	Awning	2,100	1,800	900	DOUBLE LAM. SAFETY GLASS TO CODE	Clear Glass	U = 3.60 SHGC = 0.47	NONE	EAST	3.78
	W.11	STANDARD ALUMINIUM	Fixed	600	1,800	300	DOUBLE LAM. SAFETY GLASS TO CODE	Tinted Glazing	U = 3.60 SHGC = 0.54	NONE	EAST	1.08
	W.12	STANDARD ALUMINIUM	Awning	1,800	900	1,500	DOUBLE LAM. SAFETY GLASS TO CODE	Clear Glass	U = 3.60 SHGC = 0.47	NONE	EAST	1.62
	W.13	STANDARD ALUMINIUM	Awning	1,500	1,800	900	DOUBLE LAM. SAFETY GLASS TO CODE	Clear Glass	U = 3.60 SHGC = 0.47	NONE	EAST	2.70
	W.14	STANDARD ALUMINIUM	Awning	600	1,800	900	DOUBLE LAM. SAFETY GLASS TO CODE	Clear Glass	U = 3.60 SHGC = 0.47	NONE	EAST	1.08
	W.15	STANDARD ALUMINIUM	Fixed	3,000	2,400	300	DOUBLE LAM. SAFETY GLASS TO CODE	Tinted Glazing	U = 3.60 SHGC = 0.54	AWNING 1300 DEEP	WEST	7.20
	W.16	STANDARD ALUMINIUM	Double Hung	600	2,400	300	DOUBLE LAM. SAFETY GLASS TO CODE	Tinted Glazing	U = 3.60 SHGC = 0.54	NONE	SOUTH	1.44



CONSTRUCTION NOTES:


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ALL WINDOW AND DOOR DIMENSIONS ARE FOR STRUCTURAL OPENING ONLY, TO BE USED FOR TENDER PURPOSES ONLY.
CONTRACTOR TO ALLOW APPROPRIATE TOLERANCE FOR SIZING WINDOW AND DOOR FRAMES.
CONTRACTOR TO CHECK ALL CONSTRUCTED OPENING DIMENSIONS ON SITE PRIOR TO FABRICATION AND DELIVERY OF WINDOW AND DOOR FRAMES.


COMPLIANCE NOTES:

- CLIMATIC ZONE: 5
- WIND CLASSIFICATION: N2
- COMPLIANCE WITH AS 1288
- ALL OPERABLE SASHES TO BEDROOM WINDOWS LESS THAN 1.7M FROM A HIGHER FLOOR LEVEL (GREATER THAN 2M ABOVE NGL), TO BE RESTRICTED TO A 125MM OPENING OR FITTED WITH METAL MESH OR BALUSTRADE WITH OPENINGS LESS THAN 125MM

WINDOW SCHEDULE												
FLOOR LEVEL	WINDOW No.	FRAME TYPE	OPER-ATION STYLE	X(HORIZ) OPENING MM	Y(VERT) OPENING MM	SILL HEIGHT MM	GLAZING TYPE	GLAZING TREAT-MENT	WINDOW PERFORM.	EXT SHADING	OUTLOOK	SURFACE AREA (SQ.M)
LEVEL 01 FFL												
	W.20	STANDARD ALUMINIUM	Awning	2,100	1,800	300	DOUBLE LAM. SAFETY GLASS TO CODE	Clear Glass	U = 3.60 SHGC = 0.47	NONE	EAST	3.78
	W.21	STANDARD ALUMINIUM	Double Hung	600	2,550	150	DOUBLE LAM. SAFETY GLASS TO CODE	Tinted Glazing	U = 3.60 SHGC = 0.54	NONE	SOUTH	1.53
	W.22	STANDARD ALUMINIUM	Double Hung	600	2,550	150	DOUBLE LAM. SAFETY GLASS TO CODE	Tinted Glazing	U = 3.60 SHGC = 0.54	NONE	SOUTH	1.53
	W.23	STANDARD ALUMINIUM	Awning	1,200	600	1,800	DOUBLE LAM. SAFETY GLASS TO CODE	Tinted Glazing	U = 3.60 SHGC = 0.54	NONE	SOUTH	0.72
	W.24	STANDARD ALUMINIUM	Double Hung	600	2,100	300	DOUBLE LAM. SAFETY GLASS TO CODE	Tinted Glazing	U = 3.60 SHGC = 0.54	NONE	SOUTH	1.26
	W.25	STANDARD ALUMINIUM	Double Hung	600	2,100	300	DOUBLE LAM. SAFETY GLASS TO CODE	Tinted Glazing	U = 3.60 SHGC = 0.54	NONE	SOUTH	1.26
ROOF FFL												
	W.30	STANDARD ALUMINIUM	Fixed	606	600	1,043	DOUBLE LAM. SAFETY GLASS TO CODE	Tinted Glazing	U = 3.60 SHGC = 0.54	NONE	EAST	0.36
	W.31	STANDARD ALUMINIUM	Fixed	606	600	1,043	DOUBLE LAM. SAFETY GLASS TO CODE	Tinted Glazing	U = 3.60 SHGC = 0.54	NONE	EAST	0.36
	W.32	STANDARD ALUMINIUM	Double Hung	606	1,660	0	DOUBLE LAM. SAFETY GLASS TO CODE	Tinted Glazing	U = 3.60 SHGC = 0.54	NONE	WEST	1.01
	W.33	STANDARD ALUMINIUM	Double Hung	606	1,660	0	DOUBLE LAM. SAFETY GLASS TO CODE	Tinted Glazing	U = 3.60 SHGC = 0.54	NONE	WEST	1.01

DOOR SCHEDULE														
FLOOR LEVEL	DOOR No.	DOOR TYPE	OPERABLE LEAF TYPE	X (HORIZ) OPENING MM	Y (VERT) OPENING MM	SIDE-LIGHT	SIDE LIGHT WIDTH	HIGH-LIGHT	HIGHLIGHT TRANSOM HEIGHT	GLAZING TYPE - NOMINAL	WINDOW PERFORM.	EXTERNAL SHADING	OUTLOOK	SURFACE AREA (SQ.M)
GROUND FLOOR FFL														
	D.10	SOLID CORE PIVOTING DOOR	Pivot	1,000	2,400	None	0.40	None	0.60	NONE	N/A	AWNING PROJECTS ABOVE	EAST	2.40
	D.11	ALUMINIUM FRAMED BI-FOLD DOORS	Sliding Folding Multi-panel	4,000	2,700	---	0.00	---	0.30	DOUBLE GLAZED CLEAR GLASS LAM. SAFETY GLASS TO CODE	U=3.6 SHGC=0.47	AWNING PROJECTS ABOVE	WEST	10.80
	D.12	ALUMINIUM FRAMED BI-FOLD DOORS	Sliding Folding Multi-panel	3,000	2,700	---	0.00	---	0.30	DOUBLE GLAZED CLEAR GLASS LAM. SAFETY GLASS TO CODE	U=3.6 SHGC=0.47	AWNING PROJECTS ABOVE	NORTH	8.10
	D.13	ALUMIN. FRAMED GLAZED HINGED DOOR - 1 LIGHT	Side Hung	900	2,100	None	0.40	None	0.30	DOUBLE GLAZED CLEAR LAM. SAFETY GLASS TO CODE	U = 3.6 SHGC = 0.47	NONE	NORTH	1.89
	D.14	ALUMIN. FRAMED GLAZED HINGED DOOR - 2 LIGHT	Side Hung	1,600	2,700	None	0.40	Top Hung	600	DOUBLE GLAZED CLEAR LAM. SAFETY GLASS TO CODE	U = 3.6 SHGC = 0.47	NONE	NORTH	4.32
	DI.10	HOLLOW CORE HINGED DOOR	Side Hung	900	2,100	None	0.40	None	0.30	NONE	N/A	N/A	N/A	1.89
	DI.11	HOLLOW CORE HINGED DOOR	Side Hung	900	2,100	None	0.40	None	0.30	NONE	N/A	N/A	N/A	1.89
	DI.12	HOLLOW CORE HINGED DOOR	Side Hung	900	2,100	None	0.40	None	0.30	NONE	N/A	N/A	N/A	1.89
	DI.13	HOLLOW CORE HINGED DOOR	Side Hung	900	2,100	None	0.40	None	0.30	NONE	N/A	N/A	N/A	1.89
	DI.14	HOLLOW CORE HINGED DOOR	Side Hung	900	2,100	None	0.40	None	0.30	NONE	N/A	N/A	N/A	1.89
	DI.15	HOLLOW CORE HINGED DOOR	Side Hung	900	2,100	None	0.40	None	0.30	NONE	N/A	N/A	N/A	1.89



#HR-62LHNY-01 13/02/2024
Assessor Manuel Basiri
Accreditation No. DMN/12/1462
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Vaucluse, NSW, 2030

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COMPLIANCE NOTES:

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DOOR SCHEDULE

drawing
2135: DA702: C3.1
project drawing no. issue
7/2/2024

DOOR SCHEDULE														
FLOOR LEVEL	DOOR No.	DOOR TYPE	OPERABLE LEAF TYPE	X (HORIZ) OPENING MM	Y (VERT) OPENING MM	SIDE-LIGHT	SIDE LIGHT WIDTH	HIGH-LIGHT	HIGHLIGHT TRANSOM HEIGHT	GLAZING TYPE - NOMINAL	WINDOW PERFORM.	EXTERNAL SHADING	OUTLOOK	SURFACE AREA (SQ.M)
LEVEL 01 FFL														
	D.20	SECTIONAL OVERHEAD GARAGE DOOR - COLORBOND CLAD	Side Hung	3,134	2,400		400		300	NONE	N/A	NONE	EAST	7.52
	D.21	SOLID CORE PIVOTING DOOR	Pivot	1,022	2,500	None	0.40	Top Hung	397	NONE	N/A	NONE	EAST	2.55
	D.22	SOLID CORE PIVOTING DOOR	Pivot	1,115	2,500	None	0.40	Top Hung	397	NONE	N/A	NONE	EAST	2.79
	D.23	ALUMINIUM FRAMED BI-FOLD DOORS	Sliding Folding Multi-panel	4,024	2,400	---	0.00	---	0.30	DOUBLE GLAZED CLEAR GLASS LAM. SAFETY GLASS TO CODE	U= 3.6 SHGC=0.47	AWNING PROJECTS ABOVE	WEST	9.66
	D.24	ALUMINIUM FRAMED BI-FOLD DOORS	Sliding Folding Multi-panel	4,305	2,400	---	0.00	---	0.30	DOUBLE GLAZED CLEAR GLASS LAM. SAFETY GLASS TO CODE	U=3.6 SHGC=0.47	AWNING PROJECTS ABOVE	WEST	10.33
	DI.20	HOLLOW CORE CAVITY SLIDING DOOR	Pocket	1,400	2,100	None	0.40	None	0.30	NONE	N/A	N/A	N/A	2.94
	DI.21	HOLLOW CORE HINGED DOOR	Side Hung	900	2,100	None	0.40	None	0.30	NONE	N/A	N/A	N/A	1.89
	DI.22	HOLLOW CORE CAVITY SLIDING DOOR	Pocket	900	2,400	None	0.40	None	0.30	NONE	N/A	N/A	N/A	2.16
ROOF FFL														
	D.30	ALUMIN. FRAMED GLAZED HINGED DOOR - 2 LIGHT	Side Hung	1,600	2,100	None	0.40	None	0.30	DOUBLE GLAZED CLEAR LAM. SAFETY GLASS TO CODE	U = 3.6 SHGC = 0.47	NONE	WEST	3.36
	DI.30	HOLLOW CORE CAVITY SLIDING DOOR	Pocket	900	2,400	None	0.40	None	0.30	NONE	N/A	N/A	N/A	2.16

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#HR-62LHNY-01 13/02/2024

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DOOR SCHEDULE

drawing
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project drawing no. issue
7/2/2024